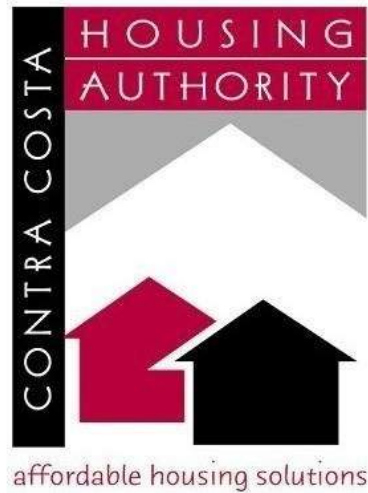


REQUEST FOR QUALIFICATIONS



Las Deltas Scattered Site Below Market Sale of Units

**Housing Authority of the County of Contra Costa
Release Date: April 10, 2023**

**Responses must be Received
by 4:00 p.m. Pacific Standard Time
on July 13, 2023**

**REQUEST FOR QUALIFICATIONS
FOR
BELOW MARKET SALE
OF SCATTERED SITE UNITS**

Proposals must be submitted to the offices of the
Housing Authority of the County of Contra Costa
(HACCC),
3133 Estudillo Street, Martinez, CA 94553

By 4:00 p.m. Pacific Time on July 13, 2023

**PROPOSALS WILL NOT BE ACCEPTED AFTER
THIS DATE AND TIME**

Note regarding the Public Records Act:

Government Code Sections 6250 *et seq.*, the California Public Records Act, defines a public record as any writing containing information relating to the conduct of the public business. The Public Records Act provides that public records shall be disclosed upon written request and that any citizen has a right to inspect any public record unless the document is exempted from disclosure.

Be advised that any contract that eventually arises from this Request for Qualifications is a public record. Also, apart from any information protected from disclosure (e.g., proprietary business information such as technical methods or processes, detailed pricing information, personal information, or the Housing Authority's pre-decided information such as internal proposal evaluations) information submitted in response to this Request for Qualifications is itself a public record. Submission of any materials in response to this Request for Qualifications constitutes a waiver by the submitting party of any claim that the information is protected from disclosure. By submitting materials, (1) you are consenting to release of such materials by HACCC if requested under the Public Records Act without further notice to you and (2) you agree to indemnify and hold harmless the County and HACCC for release of such information.

Table of Contents	Page
I. OVERVIEW	1
II. BACKGROUND	1
A. NEIGHBORHOOD CONTEXT	1
B. BELOW-MARKET RATE SALE OBJECTIVES	2
C. HUD TRANSITION REQUIREMENTS FOR LAS DELTAS	2
D. NONPROFIT DEVELOPER RESTRICTION	3
E. CURRENT UNIT CONDITIONS	4
F. ZONING AND LAND USE REQUIREMENTS	6
G. ENVIRONMENTAL CONDITIONS AND DEVELOPMENT FEASIBILITY	6
H. FINANCING PLAN	6
I. AFFIRMATIVE MARKETING PROCEDURES	7
J. COMMITMENT AND ACCOUNTABILITY TO COMMUNITY	8
K. REVERSION CLAUSE	10
III. IMPORTANT DATES AND SUBMISSION INFORMATION	10
A. IMPORTANT DATES AND ANTICIPATED SELECTION TIMELINE	10
B. SUBMISSION DEADLINE AND FORMAT	11
C. PRE-SUBMISSION MEETING	11
D. QUESTIONS AND REQUESTS FOR INFORMATION	11
IV. SUBMITTAL REQUIREMENTS	12
V. SELECTION PROCESS AND CRITERIA	16
A. SELECTION PROCESS	16
B. EVALUATION CRITERIA	17
VI. GENERAL TERMS AND CONDITIONS	23
VII. ATTACHMENTS Attachment 1 – Map Attachment 2 – List of Available Units and Addresses Attachment 3 – RFQ Submission Checklist Attachment 4 – Buyer and Realtor Description Form Attachment 5 – North Richmond Community Profile Attachment 6 – North Richmond Quality of Life Plan Attachment 7 – North Richmond: A Priority Resilience Area (Resilient by Design)	

RFQ for the Below Market Sale of Scattered Site Units at Las Deltas

I. OVERVIEW

Las Deltas was an aging 214-unit public housing property developed by the Housing Authority of the County of Contra Costa (HACCC or Housing Authority) in the 1950s and 1960s on roughly 19 acres in North Richmond. Las Deltas consisted of a main campus of 134 dwelling units along with an office and maintenance building, a Head Start center and a building dedicated to youth recreational programs and another 80 units in 38 duplexes and 4 single family dwellings spread throughout North Richmond (Scattered Sites).

Due to decades of underfunding in the public housing program, HACCC removed Las Deltas from the public housing program. HACCC's primary goal in taking this action was to expand and improve the quality of housing offered to its tenants and clients. HACCC successfully utilized two programs from the U.S. Department of Housing and Urban Development (RAD and Section 18) to transform the public housing subsidies for the 214 Las Deltas units (only 95 of which were occupied) into project-based Section 8 funding that financed the production/preservation of 591 affordable housing units located in 10 different properties throughout the County, including three in North Richmond. HACCC expects to fund at least 81 more affordable housing units (ideally in North Richmond) as part of this phase of the transformation of Las Deltas.

Remaining, is the transformation of the physical space that Las Deltas occupied. HACCC's goals in these upcoming phases are to improve the housing stock in North Richmond, provide economic opportunities to those living and working in North Richmond and to further increase the supply of affordable housing. The first step in this process is this Request for Qualifications (RFQ), in which HACCC is seeking proposals from 501(c)(3) nonprofit housing developers to purchase up to 5 buildings per developer for \$1 per building and then rehabilitate or redevelop these units for homeownership, including shared equity programs and any other model that permits equity-building for occupants, by low-income families (at or below 80% of Area Median Income {AMI}). Each developer can request to purchase a maximum of 5 total buildings. HACCC will sell no more than 16 total buildings in response to this RFQ.

II. BACKGROUND

A. Neighborhood Context

All units are in North Richmond, a 1.4-mile unincorporated community in Contra Costa County. North Richmond has a history of cultural richness, community spirit, and resilience despite racially discriminatory housing policies and real estate practices that created economic and housing hardship for its residents and isolated the community both literally (in physical terms) and figuratively. World War II brought the Kaiser Shipyards to Richmond, and a high proportion of the workers there were African American. However, restrictive housing covenants and racial exclusivity prohibited African Americans from buying property in the city of Richmond. As a result, many moved to unincorporated North Richmond which already had a significant Black population. Today, the neighborhood's demographics have shifted. The 2020 U.S. Census showed the population at that time was 17% Black/African American, 68% Hispanic/Latino, 7% White, 9% Asian, and 14% two or more races. In North Richmond, over 50% of households rent their home and 60% of renter-occupied

households are considered “rent burdened” (paying more than 30% of their household income for rent). The median household income in North Richmond is \$50,313 (compared to \$88,456 in Contra Costa County as a whole).

B. Below-Market Rate Sale Objectives

Through the conversion of Las Deltas out of the public housing program, HACCC seeks to improve the quality of housing offered to its clients and tenants, improve the housing stock in North Richmond and provide economic opportunities to those living and working in North Richmond. Through this RFQ, HACCC has the following primary goals:

- Provide affordable homeownership opportunities, including shared equity housing models that stabilize and improve the North Richmond community.
- Help low-income families at or below 80% AMI build wealth and achieve self-sufficiency.
- Give priority to former Las Deltas public housing residents who were displaced by the conversion of that property to project-based Section 8 units located off-site.
- Give second priority to current and former residents of North Richmond (including former residents of Las Deltas who were not displaced due to the closure).
- Demonstrate that affordable equity building housing models can be achieved for low-income families with sustainable subsidy levels.
- Give priority to developers located, or having a record/history of doing ongoing work in North Richmond.

Additional objectives for the overall conversion and this project are included in the submittal requirements.

C. HUD Transition Requirements for Las Deltas

As stated previously, Las Deltas was a 214-unit affordable rental/public housing complex developed by HACCC in three phases that were completed in 1952, 1960 and 1961 with funding from the U.S. Department of Housing and Urban Development (HUD). At its peak, Las Deltas offered 224 units of affordable housing across an 11.38-acre main campus, 48 scattered site duplexes, and 4 single family homes throughout North Richmond. Las Deltas, including the main campus, represented more than 20% of North Richmond’s housing stock at the time the project was decommissioned in 2020. Decades of unsuccessful attempts to obtain adequate financial resources to maintain quality housing at Las Deltas resulted in the transition of the properties through HUD’s Rental Assistance Demonstration (RAD) program and the Section 18 Demolition and Disposition process.

All public housing has restrictions on the land and units placed there by HUD. If a housing authority wishes to sell land or units that were part of a public housing property, like Las Deltas, HUD normally requires those units be sold at full market value. The housing authority is then required to use the proceeds from that sale to rehabilitate its other public housing units or to develop new affordable housing. In some circumstances, HUD will permit housing authorities to sell former public housing land and units at less than fair market value. However, when that occurs, HUD will place restrictions on that land/units. In Las Deltas case, HUD has placed Declarations of Restrictive Covenants (DRC) on these units that require they remain affordable and can only be sold to low-income families for a period of twenty (20) years if sold by HACCC to a buyer at less than

market value. Thus, the DRC shall remain in place for 20 years from the close of escrow and the property may only be sold to/occupied by families qualifying as low-income as indicated in the most current HUD-Published Area Median Incomes. In addition, regardless of which proposals HACCC approves, all plans and property sales must also be given final approval by HUD.

The current threshold for 80% AMI is based on the Oakland-Fremont Metropolitan Area figures published by the Department of Housing and Urban Development (HUD):

Family Size (# of persons)	Low (80%) Income
01	\$74,200
02	84,800
03	95,400
04	106,000
05	114,500
06	123,000
07	131,450
08	139,950

HACCC expects HUD to update the AMI numbers in the first or second quarter of 2023 and at a similar point annually in the future. The 80% AMI numbers at time of any future sale will be the relevant units of measure.

D. Nonprofit Developer Restriction

Only 501(c)(3) non-profit entities, or development partnerships that include at least one 501(c)(3) non-profit entity, will be considered for the sale of the below market rate units. Priority will be given to non-profit entities that are based in North Richmond, have a history/record of serving North Richmond residents, or have strong community ties there, who have a strong targeted marketing plan, and can demonstrate the ability to have the units occupied within 36 months from the close of escrow date. Non-profit entities who successfully submit a proposal must have the capacity to raise the funding required to repair the units or develop new structures within 36 months of the date of purchase offer. Units must be targeted to low-income families at or below 80% AMI.

Private market buyers and any other interested parties who have expressed interest in purchasing a property (including any nonprofit developers who acquire buildings under this RFQ) will be contacted for purchasing the remaining Scattered Sites at market value later.

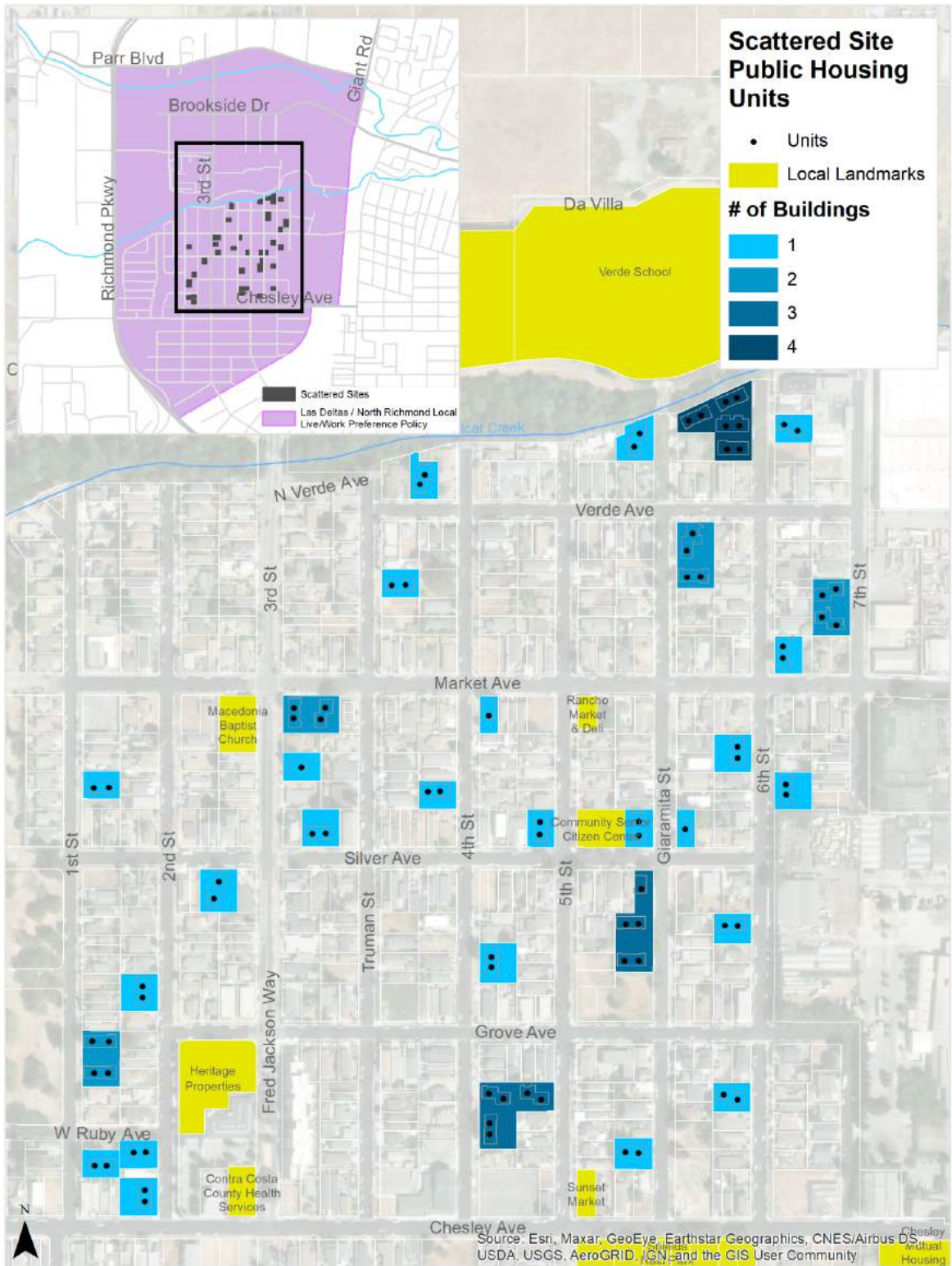
E. Current Unit Conditions

All 16 buildings are former public housing units that will require significant improvements to be habitable. Applicants should expect to conduct extensive rehabilitation on any of these units and it is likely that demolition versus rehabilitation will be the preferred path for many of these units. Decades of underfunding, and break-ins while vacant have resulted in a failure of most building systems and other substantial damage to the units. Successful bidders will need to demonstrate their ability to undertake such a project.

All units will be sold in as-is condition. Neither HACCC nor HUD will make any improvements or modifications to these properties, nor will either agency provide funding for improvements or modifications. As stated above, developers who obtain any of these units will need to have the capacity to bring these units to market at a price point that low-income families/individuals can afford.

See Attachment 1, repeated on the next page, for a map of the designated units available for sale. See Attachment 2 for a list of the addresses and unit configuration of the properties available for sale through this RFQ. Up to 16 buildings are available for consideration for this sale. Each proposal is capped at 5 total buildings. Developers who wish to purchase any number of buildings will list those they wish to obtain in order of preference. Developers seeking fewer than five buildings can ask to acquire either duplexes or single-family dwellings, but again, will be asked to list their order of preference. While nonprofit developers will note their preferred buildings in their proposal, final building selection will be made during post-selection negotiations with HACCC. Please note that the selection panel may award fewer than your requested number of buildings. All awards under this RFQ are subject to HUD approvals.

Please Note: If you are planning to purchase multiple buildings, they may be on the same parcel as other buildings that you are not interested in purchasing. You will be required to split the parcels prior to the sale/transfer of the building. HACCC is not going to split any parcels. Please see the map below or explore this interactive version of the map for parcel details for each building as you make your selections.



F. Zoning and Land Use Requirements

All units are in the unincorporated North Richmond area of West Contra Costa County, which consists of older single-family housing stock, some multiple-family apartments, and some newer homes built approximately 20 years ago. Applicants are encouraged to take full advantage of the area's designation as an Opportunity Zone within census tract 3650.02 to maximize investment in the area. Information on Opportunity Zones and their development benefits can be found at <https://www.cdfifund.gov/opportunity-zones>.

The Contra Costa County Department of Conservation and Development (DCD) is in the process of updating the General Plan and Housing Element which will update the zoning designations across the County. The proposed zoning by DCD for these sites and the majority of North Richmond is Residential Medium High at a density of 17-30 dwelling units per acre. However, some of the sites along Market Avenue, Fred Jackson Way, or Chesley Avenue are designated as Mixed Use at a density of 30-75 dwelling units per acre. The area has a Planned-Unit (P-1) zoning designation and thus follows the development standards of this zone. The P-1 zoning designation is consistent with the General Plan and provides Design Guidelines for the area. Details can be found here: www.contracosta.ca.gov/4747/Specific-Plans

For proposals that intend to rehabilitate the existing structures, the updated zoning designations should not have an effect. For those who intend to demolish the existing buildings and build new housing units, applicants should closely examine the Design Guidelines, as well as the County's draft updates. The project would be entitled to a density bonus because of the affordable housing being provided. Further, because the properties are deed-restricted affordable housing, the project would be allowed a parking reduction, with the amount of such reduction dependent on the specific type of occupancy. Redevelopment of the site could require a General Plan Amendment (“GPA”) if demolition occurs and the densities of the new units fall below 17 dwelling units per acre, or, if they exceed those allowed through a density bonus. All developers will be subject to all state or local ordinances and should especially note any that apply to the unincorporated areas of Contra Costa County, such as the new ordinance that all new construction in unincorporated areas be all-electric.

G. Environmental Conditions and Development Feasibility

Nonprofit developers will take on the responsibility of meeting all requirements under the applicable Environmental Review processes as applicable.

H. Financing Plan

1. Cost Considerations:

As part of its review of Applications submitted under this RFQ, HACCC seeks project financing plans that are cost-effective but propose realistic assumptions for both costs and sources. Proposals will be rated on readiness and realistic success of funding strategies that are presented for completing the rehab/development of the proposed units in a timely manner. Bidders will need to present financial records to verify capacity to rehabilitate the units. It is HACCC’s expectation that nonprofit developers will be able to complete a rehab in time for an individual homebuyer to move into the unit

within 36 months of the close of escrow. In the event of delays or additional needed time, HACCC will consider an extension so long as the non-profit entity can demonstrate that it is making a good-faith effort to complete the project in a timely manner and measurable progress is being made.

2. HACCC Subsidy:

It should be noted that HACCC has no resources available for assisting in the purchase or rehab of the units. While the sale price will be \$1/building, the development team must pay all fees associated with the sale of these units unless a cost is specifically required to be paid by HACCC. These could include escrow fees, title insurance, closing costs, taxes, parcel splits, etc.

I. Affirmative Marketing Procedures

1. Abiding by the Las Deltas/North Richmond Local Preference Policy:

As part of the Las Deltas disposition process, HACCC has received permission from HUD to adopt a Local Preference Policy for both developer selection and occupancy of the developed sites in the future. The local developer selection preference criteria are discussed in the Section V (B) *Evaluation Criteria* section of this RFQ.

As part of the conversion of the Las Deltas property out of the public housing program, HACCC was required to relocate 81 families, some of whom had lived at Las Deltas for decades. In order to maximize the opportunities offered to these former Las Deltas residents, HACCC's Las Deltas/North Richmond Local Preference Policy will require all developers who receive funding or land tied to Las Deltas to offer first preference in the leasing or sale of any units they develop or rehabilitate with this money/land to any person who lived on the Las Deltas Public Housing site at the time of its closure. HACCC shall maintain a list of the individuals that must be offered any units first.

Second preference will be for anyone who currently lives or works in North Richmond or has lived in North Richmond in the past. North Richmond is defined by addresses within the boundaries of the Richmond Parkway on the West, Parr Blvd on the North, Burlington Northern Santa Fe railroad on the East until Chesley Avenue, and then Union Pacific Railway until it reaches back to the Richmond Parkway. The boundaries are shown on this map:

<https://pbf-a.maps.arcgis.com/apps/instant/sidebar/index.html?appid=e307058cc233495d8a876b3a6d8db292&locale=en>

If there are units remaining after the former Las Deltas residents have been offered housing, the developers will need to create an outreach plan and market the units to the North Richmond community to identify a homebuyer prior to offering the units to the general public.

2. Affirmative Marketing Procedures:

Successful bidders must adhere to the Las Deltas/North Richmond Local Preference Policy. HACCC expects that successful implementation of this policy may differ slightly based on the nature of individual developer's projects. As such, HACCC expects to negotiate possible changes to the proposed mechanics of the Local Preference Policy with each selected developer for their specific project after award. What will not change is that Las Deltas residents will get first preference and

those who live/work in North Richmond will get second preference. All changes to the Local Preference Policy must also meet any relevant HUD and federal/State fair housing requirements.

Successful bidders must follow affirmative marketing procedures. The objective of affirmative marketing is to ensure that marketing plans promote fair housing by ensuring outreach to all households potentially eligible for the Las Deltas and North Richmond Preferences, including those least likely to apply. Affirmative marketing consists of actions to provide information and otherwise attract eligible persons to available housing without regard to race, color, national origin, sex, religion, familial status (persons with children under 18 years of age, including pregnant women), or disability.

With changing demographics in Contra Costa County and North Richmond, there are challenges when marketing to an eligible population that is limited English proficient (LEP). We encourage plans that:

- Translate marketing materials to serve Spanish-speaking and other LEP populations,
- Works with Spanish language print media, radio, and television stations as well as those in other languages,
- Place marketing materials at community centers that provide for free public service announcements,
- Partner with faith-based and community organizations that serve newly arrived immigrants, and
- Conduct marketing activities at adult-education training centers or other locations that conduct "English as a Second Language" classes.

Successful bidders will provide a detailed description of their proposed Marketing Plan for these units as well as their proposed approach to selecting homebuyers/residents.

J. Commitment and Accountability to Community

North Richmond residents have worked with several groups to develop plans to voice the aspirations and concerns of the North Richmond community and make improvements to the neighborhood. Several of these plans have included community desires for the transition of Las Deltas out of the public housing program. HACCC has participated to some extent in most, if not all of these efforts. While many of the suggestions in these studies are more relevant for other entities, or more likely to be implemented as part of the larger redevelopment process at the former Las Deltas main campus, HACCC encourages developers responding to this RFQ to carefully read through these plans and address any elements they can as part of their proposal. These plans provide critical guidance to what the community expects of any development in North Richmond and significant elements of this RFQ were shaped by HACCC's ongoing participation in these discussions. Among those are an expanded local preference for both homebuyers and developers and a broadened definition of homeownership to include models such as land trusts and co-ops that still allow families to build equity in ways that rental housing does not.

The relevant plans are attached to this RFQ and can also be viewed on our website at <https://contracostaha.org/las-deltas-redevelopment/>. Proposers are encouraged to review the North

Richmond Quality of Life Plan, the North Richmond Community Profile under Contra Costa County's General Plan, and the our-Home plan from the Resilient by Design Bay Area Challenge. HACCC will assess respondents' proposals based on their commitment to uses and concepts articulated by local residents in these plans. The following priorities are explicitly pulled from those documents and will be measured in the evaluation process:

- Commitment to place-keeping of historical and intergenerational residents;
- Commitment to offering former Las Deltas residents secure housing and right to return to the neighborhood if they desire;
- Commitment to permanent affordable housing

Additionally, while many of the ideas in these documents are more likely to be incorporated in multi-family projects, it is encouraged to include any other community desires expressed in these plans that are possible within your rehabilitation/development plan. These include: creating a greenbelt or tree corridors along main streets in North Richmond, a historical museum and/or walking path with metal insets honoring the history and community leaders of the neighborhood, green infrastructure installation, and community gathering places.

It is also expected that developers will rehabilitate the units with the desires and needs of those who will be awarded priority under the preference points in purchasing them. Through the work of the Partnership for the Bay's Future Policy Grant, interviews have been conducted with many of the 81 households who were relocated when Las Deltas was closed. The following priorities have been noted by former Las Deltas Public Housing residents:

- Monthly mortgage bills that are comparable to affordable rent (less than 30% of income);
- Single story homes (no stairs) that are ADA accessible;
- Opportunities to make design choices with developers;
- Feeling safe in their home – concern about crime in North Richmond;
- Private yard space for children and pets to play;
- Sound mitigation so those sharing a duplex cannot hear everything going on in the other side;
- Integration with community services, resources, and recreation areas for children and elderly;
- Resilient appliances that won't break down and affect them negatively as homeowners;
- Multiple bathrooms for 2+ bedroom unit homes;
- Services for helping transition to homeownership– post-purchase counseling or access to loans or funds for maintenance; and
- Protected parking spaces and/or garages.

Please note that while the maximum "Low-Income" limit of these homes is based on HUD's 80% AMI restriction, 90.3% of the former Las Deltas residents are Extremely Low Income (<30% AMI), 6.9% are Very Low Income (50% AMI), and only 1.4% are at the Low Income (< 80% AMI) threshold. This means that, in order for any of the vast majority of the former Las Deltas residents to pay less than 30% of their income on housing, additional subsidy or financial counseling will be necessary to minimize housing burden and ensure these units are accessible to this population.

Successful bidders will include creative ideas in their narratives about how these priorities may be included in their rehabilitation plan.

K. Reversion Clause

If a successful bidder fails to meet any of HACCC’s requirements such as utilizing the Local Preference Policy, to execute significant elements of its proposed plan or to proceed in a timely manner to rehabilitate/develop the units and make them available to low-income families, HACCC reserves the right to rescind the transfer/sale of the units to the developer and re-market the units.

III. IMPORTANT DATES AND SUBMISSION INFORMATION

A. Important Dates and Anticipated Selection Timeline (Subject to Change)

RFQ issued by Housing Authority of the County of Contra Costa (HACCC)	April 10, 2023
Pre-Submission meeting and site walk with HACCC staff. Meet at the Corinne Sain Senior and Family Community Center (515 Silver St, North Richmond, CA)	April 25, 2023 from 10:30 to 1:30 PM
Open Office Hours with HACCC staff via Zoom	May 16 and June 6, 2023 from 10:00 to 11:00 AM
Deadline for Written Questions / Requests for Additional Information	July 3, 2023
All Questions and Answers Posted Electronically at www.contracostahousing.org	July 6, 2023
Proposal Submission Deadline	July 13, 2023 by 4:00 PM
Notice to Respondents Regarding Satisfaction of Minimum Requirements	July 24, 2023
Interviews with Top Scoring Proposals	August 7-9, 2023
Executive Director of HACCC Review/Approval	August 18, 2023
HACCC Board Meeting Approval	By September 12th, 2023
Negotiations with Selected Nonprofit Developers	After Board Approval
HUD Approval of Sale	After Negotiations

B. Submission Deadline and Format

1. Submittals will be accepted at the HACCC office, located at 3133 Estudillo Street, Martinez, California, only until the date and time shown in Section III (A). **Hand delivery is advised** so that the Buyer can obtain a date/stamp receipt from the receptionist, but we will also accept submissions by mail if they arrive by the application submission deadline.
2. Late, emailed or faxed submittals will **not** be considered.
3. Submissions that are approved for sale will need to submit a purchase offer in a format acceptable by California Real Estate Standards and Practices.
4. It is requested that attached Narratives be submitted in an 8-1/2" by 11" format using 12-point font at single line spacing.
5. All proposers are required to submit one original and 5 copies of their proposal, including one copy on a thumb drive.

C. Pre-Submission Meeting

A pre-submission meeting will be held at the property site. A meeting will take place at the Corrine Sain Senior and Family Community Center in North Richmond. From there, HACCC will permit viewing of any desired properties for interested parties. The viewing will be April 25th from 10:30 p.m. to 1:30 p.m. All interested nonprofit developers will be invited to walk the sites with HACCC staff followed by a questions and answers period at the Senior Center. We expect the pre-submission meeting and site walk will run approximately 3 hours. The purpose of the meeting is to ensure that all prospective bidders understand the submittal requirements and scoring system. Although attendance at the pre-submission meeting is not mandatory, it is highly recommended.

D. Questions and Requests for Information

HACCC staff will hold open office hours via Zoom to ask questions on May 16 and June 6, 2023 from 10:00 to 11:00 AM. Meeting details will be posted at <https://contracostaha.org/las-deltas-redevelopment/> and will be recorded. Questions and answers will be written down and posted electronically for all prospective nonprofit developers to review.

Except for questions raised at the pre-submission meeting or office hours, all questions or requests for clarification relating to this RFQ must be submitted by email to HACCC at jignacio@contracostahousing.org. All questions must be received no later than 4:00 p.m. PST on the date specified in this RFQ. All questions and answers will be posted electronically for all prospective nonprofit developers to review on HACCC's website by the date specified in this RFQ. HACCC may, at its option, email prospective nonprofit developers with the complete list of questions and answers in addition to posting them on the website. If you wish to receive such notice, you may email HACCC at jignacio@contracostahousing.org before you submit a bid.

If changes to the RFQ are warranted, they will be made in writing, clearly marked as addenda to the RFQ, and posted to the RFQ at <https://contracostaha.org/las-deltas-redevelopment/>. It is the responsibility of each applicant to check the website listed above for changes and/or clarifications to the RFQ prior to submitting a response, and an applicant's failure to do so will not provide a ground for protest.

IV. SUBMITTAL REQUIREMENTS

Applicants are to provide the requested information in the order indicated below, including a Table of Contents, with sections separated by labeled tabs corresponding to sections IV (A.) – IV (E.) below and their sub-sections. Again, please use a 12-point font with single line spacing for all narratives. One original and 5 copies, including one copy on a thumb drive, are required to be submitted in the following order:

A. Submittal Checklist:

The bidder must complete and submit **Attachment #3, Submission Checklist**, certifying that all items on the Checklist are contained in the nonprofit developer's response.

B. Developer and Realtor Contact Sheet:

Complete Attachment #2, the Developer & Realtor Description Form.

C. Proposal Table of Contents

D. Nonprofit Developer Information:

1. Local Nonprofit Developer Preference:

- Confirmation that the developer or one of their partners is a 501(c)(3) qualified non-profit organization: Please provide proof of nonprofit status.
- Organization address, background, purpose, current programs, geographic target area, length of time the organization has been in operation, etc...
- Describe the extent to which the organization has a history of providing services in North Richmond and participating in meetings or events held by local community-based groups or councils.
- Describe the organization's interest in the Las Deltas disposition process and the community needs it hopes to address through participation in the program.

2. Development Team Experience: Describe the organization's track record of carrying out similar projects, and the organization's role in these past projects. Please provide a list of no more than 5 comparable projects and a contact person/reference for each. Please identify the role key members of the proposed development team played in these past projects (if any) and/or who your partners were in these projects. Your response here should demonstrate your ability to undertake this purchase and rehabilitation/development and sale to a low-income homebuyer.

3. Development Team Capacity: Planned roles, responsibilities, and allocation of staff time of each identified team member. Please identify their previous experience (if any) with community revitalization, construction or rehabilitation of affordable homeownership or housing development, and their previous experience working with socio-economically diverse populations. Please provide relevant examples. If you plan to work with multiple organizations, please define the relationship between parties and submit a Joint Venture agreement, Memorandum of Understanding, or similar document. Please attach your most recent audited financial statements.

E. Proposed Project Information:

Present a rehabilitation/development strategy that includes a financing proposal, and other proposed project information, clearly describing all important assumptions, by providing the following documents:

1. Project Goals Alignment Narrative

Submit a narrative of no more than three (3) pages describing how your proposed project aligns with the goals described in this RFQ and affiliated North Richmond planning documents:

- Describe how your proposal will meet the goals laid out in this RFQ in Section II (B) and the affiliated planning documents. Please describe how your project approaches the removal of barriers to intergenerational wealth creation, self-sufficiency, and resiliency. In addition, demonstrate your understanding of important issues in the area and of the priorities described in Section I (A), II (B), (G), and (H) and in the attached community-driven planning documents. Which of these larger neighborhood objectives will your proposal seek to achieve or focus on? How would your organization hold itself accountable to these priorities?
- Explain the type of units you propose to develop and how many homes your project will produce. It is not required to include any preliminary drawings or site concepts you have, but feel free to attach up to 5 pages of artist renderings, other visuals, or presentation slides as you see fit. Refer to market information, emerging real estate trends, developer experience on similar projects, or other logic for the proposed development concept. Please indicate if your proposal is consistent with Contra Costa County zoning and land use requirements, or which changes would need to be made. Include a list of the property addresses or parcels that you are most interested in purchasing.
- All developed units must be occupied by households at or below 80% AMI. You are not required to do more than this, but please describe any further income targets you have. For example, you may wish to develop one unit for households at or below 50% AMI. Explain how the units will be built/financed with this population in mind.
- Beyond the important provision of affordable housing, will your project include any public amenities or other features beyond shelter? Please describe additional elements that distinguish your project such as physical amenities or programmatic elements that benefit the future residents/tenants of the project, as well as the larger community.

2. Community and Homebuyer Engagement Strategy

A key part of this project involves ensuring that prospective buyers and the community are involved in the design of each new development on this land. Submit a narrative of no more than two (2) pages describing your proposed community engagement strategy and how that strategy is accountable to the priorities listed in the RFQ and affiliated planning documents.

- Please describe any opportunities that the target population identified in The Las Deltas/North Richmond Local Preference Policy will be able to engage during the pre-development phase of the project to maximize community input.
- Describe the process you will use for establishing and/or building positive relationships with surrounding neighbors and the larger community; and maintaining community relationships after entitlements have been achieved and the development is in operation.

3. Financing Narrative:

Submit a narrative of no more than two (2) pages (not including attachments) describing your proposed funding and financing structure. The narrative should discuss in detail your plans for financing the purchase and indicate if any progress has been made in your effort to secure financing. Provide an explanation of the project's expected financial structure including:

- Potential sources and amounts of financing, as well as any expected public financing.
- Detail any funding already acquired.
- Give a timeline of when you obtained/expect to obtain the financing for this project.
- Statement of your organization's ability to make payments on the financing proposed for securing the development/renovations of the property. Attach verifications as applicable.
- Attach all evidence of secured financing and letters of intent from grantors or lenders. While a proforma is not required, please submit one if you are using one.
- If applicable to your development team, please detail your planned involvement with connecting potential homebuyers to mortgage financing, down payment assistance, and homeownership preparedness programs.

Keep in mind that it is HACCC's expectation that nonprofit developers will be able to complete their project in time for an individual homebuyer to move into the unit within 36 months of the close of escrow. In the event of delays or additional needed time, HACCC will consider an extension so long as the non-profit entity can demonstrate that it is making a good-faith effort to complete the project in a timely manner.

4. Affirmative Marketing Plan and Buyer Selection:

Central to this RFQ is that former Las Deltas residents and low-income persons who reside or work in North Richmond are given every opportunity to purchase these units, while adhering to fair housing laws. Please submit a narrative of no more than three (3) pages about the process your team will take to ensure fair housing, affirmative marketing, and community involvement, including any aspects that will be tailored to the unique characteristics of North Richmond.

- Describe how the team intends to implement the affirmative marketing procedures described in Section II (I) by answering the following questions:
 - How will you handle outreach to potential homebuyers? Please differentiate between the outreach you will do for those on the Las Deltas relocation list provided by HACCC, and the wider North Richmond community, including workers in North Richmond as well as current residents. Will you try to reach potential homebuyers who used to live in North Richmond? If so, will this occur only if you are not able to find enough potential homebuyers from former Las Deltas residents and current North Richmond residents, or will you do outreach regardless?
 - Do you plan to have a waitlist? If so, please explain your reasoning on how it will be ordered and how selection between potential homebuyers with the same preference level (e.g., all former Las Deltas residents) will be made? Please explain how you will select if there are more interested buyers than available units and ensure that your process follows federal and state fair housing law.
 - At what point will you make homebuyer selections? (During pre-development, during rehabilitation, or after construction is complete)?
 - Will you directly work with the families to prepare them for homeownership? If so, please share your plan. How will you manage if a homebuyer drops out of the process?
 - If you do not plan to work with potential homebuyers until after construction is complete, will you engage in any manner with potential homebuyers prior to construction?
 - How will you ensure that potential homebuyers are educated on the Declaration of Restrictive Covenants (DRC) recorded on the units requiring the units to remain affordable for 20 years, as well as any other HUD or HACCC requirements and all other responsibilities and implications of homeownership?
- Which members of your team will be leading and supporting these efforts? What issues would your team primarily focus on, and how would you ultimately ensure your engagement supports creating a community-serving, feasible project? Please describe the plan to engage with potential homebuyers eligible for the Las Deltas/North Richmond Preference during pre-development phases, lease-up, and after the homebuyer is moved in.
- What previous experiences of your team members have informed your proposed approach? Be sure to identify the process, schedule, team members, and stakeholders to be engaged.

5. Demonstration of Overall Innovation and Creativity

HACCC is, and always will remain, primarily focused on affordable rental solutions for low-income families and individuals. However, a small but incredibly important component of our work is asset development and homeownership for this same population. We pursue this work in part from an equity perspective, but also because of the structure of our primary programs and the cost of housing in the Bay Area, it is incredibly difficult for most of our families to ever leave assisted housing. If we cannot create movement off our programs, then we cannot help any of the tens of thousands of families on our wait lists. We expect that innovation and creativity will be different for each developer and you should feel free to express what you feel is unique or creative about your organization's proposal. Beyond learning what creative ideas you have, HACCC is most interested in creative solutions to the following areas:

- Driving down the subsidies usually required to make affordable homeownership programs for low-income families a reality;
- Enabling equity growth for low-income participants in the context of a 20-year minimum resale restriction to other low-income families/persons; and
- The ability to deliver on community concerns expressed in the attached plans while keeping costs down.

V. SELECTION PROCESS AND CRITERIA

A. Selection Process

1. **Qualifying Threshold Requirements:** The selection panel will review all submittals for completeness, response to RFQ questions concerning potentially disqualifying issues, and satisfaction of minimum readiness requirements. Potential buyers will be notified whether their submission satisfied these qualifying threshold requirements. In cases where the submittal meets the minimum requirements but is defective because of typographical or minor calculation errors, HACCC may, in its sole discretion, allow a short grace period for the Buyer to correct such issues upon notification from HACCC, but serious deficiencies in submission completeness or accuracy may result in disqualification of the submittal.
2. References will be checked prior to award.
3. A selection panel appointed by the Executive Director of HACCC (composed of representatives from HACCC, Contra Costa County Department of Conservation and Development (DCD), Contra Costa County Supervisor John Gioia's Office, homeownership experts, and 3 North Richmond community members) will review all submittals satisfying the qualifying threshold requirements. This screening will identify applications which, at the panel's sole discretion, best match the selection criteria and meet the objectives of HACCC's sales efforts described herein. HACCC reserves the right to reject any or all submittals, to change or add to the selection criteria at any time during the screening process, and to change the preliminary schedule if appropriate.
4. After a review of all submittals satisfying the qualifying threshold requirements, applications will be ranked. The highest ranked Potential buyers will be invited to submit a formal purchase offer within 60 days of HUD approval of the sale.

5. Interviews are tentatively scheduled to be held on the date(s) shown in Section III (A) (*Important Dates*). These dates are subject to change. All nonprofit developers selected for an interview should advise HACCC staff of availability on these days. Interviews will be held at a location to be determined or virtually.
6. Further information or written material regarding submittals may be requested prior to or following interviews.
7. After completion of nonprofit developer interviews, the selection panel will determine the final ranking of all qualifying developers and present this ranking list and recommended finalist(s) to the HACCC Executive Director. The recommendations of the panel will be based on evaluation of the Buyer submittals, interviews, and reference checks.
8. The selection panel's ranking of each qualified proposal will be final. Appeals of the rankings or recommendations made by the selection panel will be considered and ruled upon by the Executive Director of HACCC.
9. The selected Applicant will have one week to submit a written letter accepting the offer to enter into an ENA.
10. Upon receipt of the letter of acceptance, HACCC will begin preparations to present its recommendation to the Board of Commissioners. Approval to proceed with the sale will also be presented to HUD for final authorization. No sales will be approved without HUD and Board of Commissioners authorization.
11. It is HACCC's intent to have a complete ENA draft acceptable to both HACCC and the selected developer to present to the Board of Commissioners along with its recommendation to sign the ENA and begin negotiating a development agreement (DA).
12. Upon HUD and Board approval, the ENA will be executed, and HACCC and the selected developer will begin work on successfully completing the ENA milestones, leading to preparation and execution of a DA.

B. Evaluation Criteria

The selection panel will evaluate and rank qualifying responses to the RFQ based on each respondent's relevant ability and preparedness to purchase and rehabilitate the property, their financial readiness, and their status as a qualified non-profit collaborator who commits to creating opportunities for ownership housing targeted to low-income families at or below 80% of area median income. In order to operationalize an equity framework, applicants will not only be measured by their financial capacity, their applications will be measured by their commitment to designing and building projects with community needs and visions in mind. While projects must be financially feasible, we also require and expect strong elements of community responsiveness and vision. In order to make this RFQ an equitable and transformative process, respondents who meet the following evaluation criteria will receive higher scores for their collaboration and consideration of the existing North Richmond community. The table below provides the criteria factors that will be evaluated and scored in this RFQ. Partial points may be awarded.

EVALUATION CRITERIA	POSSIBLE POINTS
Local Nonprofit Developer Preference	
<p>At least one organization on the development team is a registered 501(c)(3) non-profit with strong community ties to North Richmond, which can be demonstrated in any of the following ways:</p> <ul style="list-style-type: none"> ➤ Organization is located in North Richmond or has staff who have worked out of North Richmond for at least 2 years. ➤ Organization regularly holds events or provides services in North Richmond. ➤ Representatives of the organization regularly participate in meetings or events held by the North Richmond Municipal Advisory Committee, Shields-Reid Neighborhood Council, Verde Elementary, or other similar community-based groups or councils. 	12
Development Experience	
<p>Development team has successfully delivered comparable projects at similar scale. For full points, team experience must include development (rehab or new construction) of 25 or more affordable homeownership units.</p>	12
<p>Development team has not completed 25 affordable homeownership units but is currently in a development stage of one or more comparable housing projects.</p>	6
Development Team Capacity	
<p>Development team has current staff capacity to take on this project type or has identified partner organizations to fill gaps. This can be demonstrated through a realistic description of delineated roles, responsibilities, and allocation of staff time of each identified team member. If a team, relationship between parties is clearly defined, as exhibited by a Joint Venture agreement, signed Memorandum of Understanding, or similar.</p>	12
Project Goals Alignment	
<p>Development team’s strategy for purchase and rehabilitation is consistent with goals articulated in the RFQ and affiliated planning documents. The proposed strategy must also meet the minimum requirement of being affordable to households making 80% Area Median Income or below and abiding by the Las Deltas/North Richmond Local Preference Policy.</p>	18

Community and Homebuyer Engagement Strategy	
<p>Development team’s submitted community engagement strategy is accountable to the priorities listed in the RFQ and affiliated planning documents.</p> <ul style="list-style-type: none"> ➤ Opportunities for target population identified in The Las Deltas/North Richmond Local Preference Policy to engage during the pre-development phase of the project to maximize community input. ➤ A strong process for establishing and/or building positive relationships with surrounding neighbors and the larger community; and maintaining community relationships after entitlements have been achieved and the development is in operation. 	6
Financing	
<p>Development team has secured 50-100% of funding for rehabilitation of property. Concept demonstrates deep understanding of financing of the proposed product type. Responses reflect a viable approach to balancing market feasibility, financial/schedule feasibility, community goals, and resident needs.</p>	18
Affirmative Marketing Plan and Buyer Selection	
<p>Development team’s submitted marketing strategies align with expected affirmative marketing procedures and abides by the Las Deltas/North Richmond Local Preference Policy to market vacancies first to former Las Deltas residents, and then to former or current North Richmond residents. Submitted plan must include sound proposals that address each of the following:</p> <ul style="list-style-type: none"> ➤ Adequate plan to engage and market to all persons eligible for The Las Deltas/North Richmond Local Preference Policy, including limited English proficient members of the community. ➤ Homebuyer selection and tiebreaker process is fair and abides by the Las Deltas/North Richmond Local Preference Policy as well as federal and state fair housing law. ➤ The development team is prepared to educate potential homebuyers on the deed-restrictions and responsibilities of homeownership. 	12

Demonstration of Overall Innovation and Creativity	
<p>Each selection panelist will score this category on a scale of 1-10 on the proposed approach and experience demonstrating commitment to pushing innovation in the field to achieve equity goals of removing barriers to intergenerational wealth, self-sufficiency, and resiliency for former and current North Richmond residents. Examples of how to demonstrate this may include, but are not limited to:</p> <ul style="list-style-type: none"> ➤ Financing innovation that demonstrates that affordable homeownership can be achieved for low-income families with sustainable subsidy levels ➤ Deeper affordable homeownership targeted to very-low or extremely low-income households ➤ Commitment to long-term affordability beyond the 20-year deed-restriction, and/or applying the local preference policy beyond the first sale ➤ Integrating public or civic amenities ➤ Green building certification and water conservation methods ➤ Introducing new product types to a submarket (new construction technologies, alternative housing models, etc...) ➤ Commitment to connecting individual homebuyers to creative, non-extractive financing solutions, which may include special loans to target population, down payment assistance programs, or consideration for unbanked persons ➤ Respondents demonstrate partnerships with lenders that are committed to circumventing barriers to homeownership (i.e., requiring good credit scores, renter history, proof of legal residency, or restrictions based on criminal records) 	10
Total Points Available	100

The evaluation process will consider the bidder’s written submission, interview round with the top scoring proposals, references, and ability to comply with HACCC policies and requirements.

VI. GENERAL TERMS AND CONDITIONS

- A. Read All Instructions.** Please read the entire RFQ and all enclosures before preparing your proposal.
- B. Proposal Includes the RFQ.** This RFQ constitutes part of each proposal and includes the explanation of HACCC’s needs, which must be met.
- C. Housing Authority Right to Modify, Clarify, or Suspend RFQ.** No alteration or variation of the terms of this RFQ is valid unless made or confirmed in writing by HACCC. If a prospective nonprofit developer discovers any ambiguity, conflict, discrepancy, omission, or other error in the RFQ, the proposer must immediately notify HACCC of such error in writing and request

modification or clarification of the document. If a prospective nonprofit developer fails to notify HACCC of an error in the RFQ prior to the date fixed for submission, the developer shall submit a response at its own risk. Modifications or clarifications to the RFQ will be posted to <https://contracostaha.org/las-deltas-redevelopment/> without divulging the source of the request. HACCC may, at its discretion, also give notice by email to all parties who have notified HACCC of their electronic contact information for the email follow-up list, but no party that fails to receive email notice has any basis for protest given that all clarifications will be available online. It is the obligation of all proposing parties to check <https://contracostaha.org/las-deltas-redevelopment/> for updates regarding the RFQ if they wish to be kept advised of clarifications prior to submitting a proposal.

- D. Incomplete Submittals May be Rejected.** If a nonprofit developer fails to satisfy any of the requirements identified in this RFQ, the developer may be considered non-responsive, and the submittal may be rejected. HACCC reserves the right to reject a proposal at any time for misinformation, errors or omissions of any kind, no matter how far such proposal has proceeded in the review process.
- E. Withdrawal of Proposal.** Nonprofit developers may withdraw their proposals before or after the RFQ submittal deadline by submitting a written request to HACCC.
- F. Proposal Becomes HACCC Property.** The RFQ and all materials submitted in response to this RFQ will become the property of HACCC.
- G. Proposal Costs.** Costs for developing proposals are entirely the responsibility of the developer and shall not be charged to HACCC, HUD or the County or otherwise reimbursed.
- H. Questions Directed Only to HACCC.** Prospective nonprofit developers shall refrain from contacting or directing any inquiries or requests for clarification regarding this RFQ to the County or its departments, Las Deltas, or any other agency or organization associated with the Las Deltas, Property. Questions and requests for clarification shall be directed only to HACCC, as described in Section III (D).

I. Public Inspection of Documents

General Provisions Regarding Public Nature of Submissions

Government Code Section 6250 et. seq., the California Public Records Act (the “PRA”), defines a public record as any writing containing information relating to the conduct of the public's business prepared, owned, used, or retained by any state or local agency regardless of physical form or characteristics. The PRA provides that public records shall be disclosed upon request and that any citizen has a right to inspect any public record, unless the document is exempted from disclosure.

1. In general, bid responses submitted in response to this RFQ are considered public records.
2. All information regarding the bid responses will be held as confidential until such time as the Selection Panel has completed its evaluation and the Executive Director has prepared a list of proposed developer awardees to be presented to the Housing Authority’s Board of Commissioners for consideration of approval.
3. Unless otherwise specified, HACCC will not disclose the following information if contained in bid response:
 - Social Security Numbers, Federal Tax Identification Numbers, and Employer Identification Numbers;
 - Insurance policy numbers and vehicle identification numbers;
 - Names of Selection Panel members and/or any information that may be used to identify Selection Panel members;
 - Company financials and/or related information; and
 - If clearly identified, any contact information that is not used for business purposes.

Nonprofit Developers’s Rights regarding Confidentiality of Submissions

HACCC cannot represent or guarantee that any information submitted in response to the RFQ will be confidential. If HACCC receives a request for any document submitted in response to this RFQ, it will not assert any privileges that may exist on behalf of the person or business submitting the proposal. If a nonprofit developer believes that a portion of its proposal is confidential and notifies HACCC of such in writing, HACCC may, as a courtesy, attempt to notify the developer of any request for the proposal. However, it would be the sole responsibility of that developer to assert any applicable privileges or reasons why the document should not be produced, and to obtain a court order prohibiting disclosure. The developer understands that HACCC is not responsible under any circumstances for any harm caused by production of a confidential submission, and by its submission expressly waives any such claim against HACCC.

HACCC’s Rights Regarding Confidentiality of Submissions

To the extent consistent with applicable provisions of the PRA and applicable case law interpreting those provisions, HACCC and/or its officers, agents and employees retain the discretion to release or to withhold disclosure of any information submitted in response to this RFQ.

- J. Tie-Breaker.** If there is a tie for the total points scored for multiple eligible nonprofit developers, a lottery will be conducted to determine who the successful parties are. If lottery winners do not complete their purchase obligations as indicated above, the remaining lottery participants will undergo a second lottery to determine replacement developers.

- K. Post Award Conditions.** A nonprofit developer selected through this RFQ process will receive a letter notifying the development team of such selection, and the developer shall confirm its interest in proceeding into the Purchase and Sale Agreement with submission of a formal offer and a good-faith deposit for the opening of Escrow. After such confirmation, HACCC reserves the right to make a general announcement to the public and to HACCC, HUD and County of Contra Costa (“County”) boards, commissions and agencies regarding the results of the RFQ selection process. The Purchase and Sale Agreement will require the developer to acquire the property on an “as is with all faults” basis, and release the HACCC from all liability related to or arising from the condition of the property.

- L. Reservation of Rights by the Housing Authority.** This RFQ is not a commitment or contract of any kind. HACCC reserves the right to pursue any and/or all ideas generated by this RFQ. HACCC reserves the right to reject any and all submissions; waive or modify any HACCC requirement of this RFQ; suspend or terminate the RFQ process; or suspend or terminate the purchase and sale negotiating process, reject a previously-selected nonprofit developer, and select another developer to negotiate a purchase and sale agreement if it determines that the party is not acting in good faith and taking any such action is in the best interest of HACCC and/or the Project. Further, while every effort has been made to ensure the information presented in this RFQ is accurate and thorough, HACCC and the County assume no liability for any unintentional errors or omissions in this document.

VII. ATTACHMENTS:

All Attachments listed below can be found and downloaded from the HACCC webpage, at <https://contracostaha.org/las-deltas-redevelopment/>

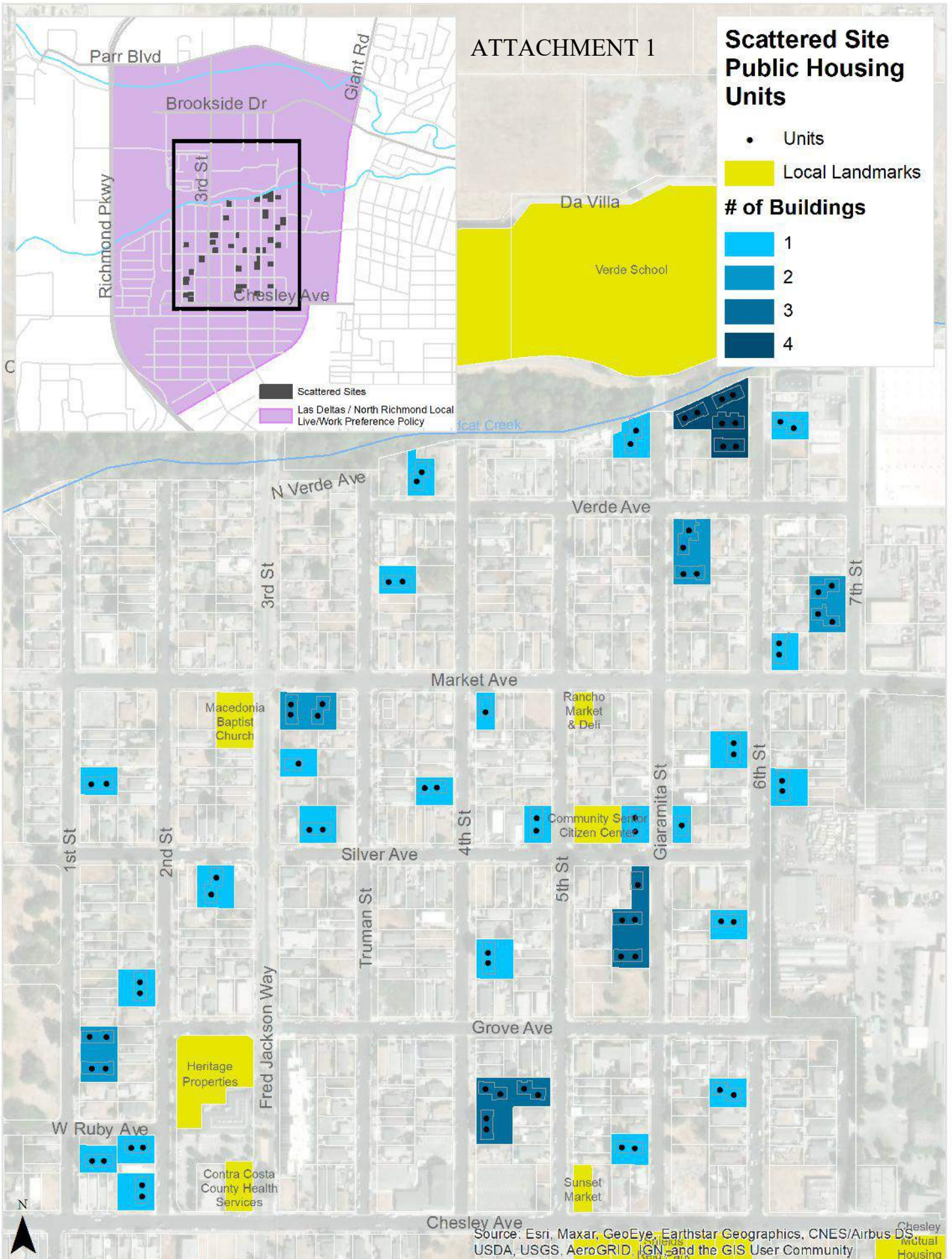
Attachment 1 – Map
Attachment 2 – List of Available Units and Addresses
Attachment 3 – RFQ Submission Checklist
Attachment 4 – Buyer and Realtor Description Form
Attachment 5 - North Richmond Community Profile
Attachment 6 - North Richmond Quality of Life Plan
Attachment 7 - ouR-Home Priority Resilience Plan

* * * * *

ATTACHMENT 1

Scattered Site Public Housing Units

- Units
 - Local Landmarks
- # of Buildings**
- 1
 - 2
 - 3
 - 4



Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

BR	APN #	Site Sq. Ft	Address	Building Type	No. of Units in Building
3	409-052-009	3750	1520 First Street, Richmond, CA	Duplex	2
3	409-052-009	3750	1518 First Street, Richmond, CA	Duplex	
2	409-052-003	5020	121 Chesley Drive, Richmond, CA	Duplex	2
3	409-052-003	5020	1511 Second Street, Richmond, CA	Duplex	
3	409-200-016	3750	1714 First Street, Richmond, CA	Duplex	2
3	409-200-016	3750	1710 First Street, Richmond, CA	Duplex	
3	409-191-009	5013	317 Silver Avenue, Richmond, CA	Duplex	2
3	409-191-009	5013	325 Silver Avenue, Richmond, CA	Duplex	
4	409-191-013	7500	1730 Fred Jackson Way, Richmond, CA	Single Family	1
3	409-251-022	3750	1840 Truman Street, Richmond, CA	Duplex	2
3	409-251-022	3750	1844 Truman Street, Richmond, CA	Duplex	
3	409-162-018	3750	1727 Fourth Street, Richmond, CA	Duplex	2
3	409-162-018	3750	1725 Fourth Street, Richmond, CA	Duplex	
4	409-161-001	4998	1744 Fourth Street, Richmond, CA	Single Family	1
4	409-142-005	4259.8	1649 Giaramita Street, Richmond, CA	Single Family	1
4	409-142-005	4259.8	1643 Giaramita Street, Richmond, CA	Duplex	2
3	409-142-005	4259.8	1639 Giaramita Street, Richmond, CA	Duplex	
3	409-142-005	4259.8	1623 Giaramita Street, Richmond, CA	Duplex	2
3	409-142-005	4259.8	1619 Giaramita Street, Richmond, CA	Duplex	
4	409-151-011	5000	1710 Giaramita Street, Richmond, CA	Single Family	1
1	409-152-007	3750	525 Silver Avenue, Richmond, CA	Duplex	2
1	409-152-007	3750	1711 Giaramita Street, Richmond, CA	Duplex	

Las Deltas Units By AMP and Property

BR	APN #	Site Sq. Ft	Address	Building Type	No. of Units in Building
4	409-282-019	3750	1814 Sixth Street, Richmond, CA	Duplex	2
2	409-282-019	3750	611 Market Avenue, Richmond, CA	Duplex	
3	409-151-005	4991.5	1741 Sixth Street, Richmond, CA	Duplex	2
3	409-151-005	4991.5	1737 Sixth Street, Richmond, CA	Duplex	
4	409-060-018	3766.25	1572 First Street, Richmond, CA	Duplex	2
3	409-060-018	3766.25	1574 First Street, Richmond, CA	Duplex	
4	409-060-018	3766.25	1560 First Street, Richmond, CA	Duplex	2
3	409-060-018	3766.25	1558 First Street, Richmond, CA	Duplex	
3	409-052-001	3750	1529 Second Street, Richmond, CA	Duplex	2
3	409-052-001	3750	114 West Ruby Avenue, Richmond, CA	Duplex	
3	409-060-009	4932.5	1601 Second Street, Richmond, CA	Duplex	2
3	409-060-009	4932.5	1605 Second Street, Richmond, CA	Duplex	
4	409-182-002	5682.5	220 Silver Avenue, Richmond, CA	Duplex	2
4	409-182-002	5682.5	218 Silver Avenue, Richmond, CA	Duplex	
3	409-191-001	3803.5	308 Market Avenue, Richmond, CA	Duplex	2
3	409-191-001	3803.5	1748 Fred Jackson Way, Richmond, CA	Duplex	
3	409-191-001	3803.5	322 Market Avenue, Richmond, CA	Duplex	2
3	409-191-001	3803.5	320 Market Avenue, Richmond, CA	Duplex	
3	409-252-008	4023.44	315 Verde Avenue, Richmond, CA	Duplex	2
3	409-252-008	4023.44	317 Verde Avenue, Richmond, CA	Duplex	
4	409-171-015	5278.5	1624 Fourth Street, Richmond, CA	Duplex	2
3	409-171-015	5278.5	1622 Fourth Street, Richmond, CA	Duplex	

Las Deltas Units By AMP and Property

BR	APN #	Site Sq. Ft	Address	Building Type	No. of Units in Building
3	409-100-004	4214.66	1542 Fourth Street, Richmond, CA	Duplex	2
3	409-100-004	4214.66	1540 Fourth Street, Richmond, CA	Duplex	
3	409-100-004	4214.66	1534 Fourth Street, Richmond, CA	Duplex	2
3	409-100-004	4214.66	1532 Fourth Street, Richmond, CA	Duplex	
3	409-100-004	4214.66	1539 Fifth Street, Richmond, CA	Duplex	2
3	409-100-004	4214.66	1541 Fifth Street, Richmond, CA	Duplex	
3	409-161-008	3750	423 Silver Avenue, Richmond, CA	Duplex	2
3	409-161-008	3750	1709 Fifth Street, Richmond, CA	Duplex	
4	409-272-009	5104	1927 Giaramita Street, Richmond, CA	Duplex	2
4	409-272-009	5104	1925 Giaramita Street, Richmond, CA	Duplex	
3	409-292-001	3443.75	1932 Giaramita Street, Richmond, CA	Duplex	2
3	409-292-001	3443.75	1934 Giaramita Street, Richmond, CA	Duplex	
4	409-281-001	4375.5	1844 Giaramita Street, Richmond, CA	Duplex	2
4	409-281-001	4375.5	542 Verde Avenue, Richmond, CA	Duplex	
3	409-281-001	4375.5	1842 Giaramita Street, Richmond, CA	Duplex	2
3	409-281-001	4375.5	1840 Giaramita Street, Richmond, CA	Duplex	
3	409-110-007	4192	1525 Giaramita Street, Richmond, CA	Duplex	2
3	409-110-007	4192	1527 Giaramita Street, Richmond, CA	Duplex	
3	409-120-005	3855	1547 Sixth Street, Richmond, CA	Duplex	2
3	409-120-005	3855	1549 Sixth Street, Richmond, CA	Duplex	
3	409-141-006	3750	1639 Sixth Street, Richmond, CA	Duplex	2
3	409-141-006	3750	1641 Sixth Street, Richmond, CA	Duplex	

Las Deltas Units By AMP and Property

BR	APN #	Site Sq. Ft	Address	Building Type	No. of Units in Building
3	409-292-001	3443.75	1923 Sixth Street, Richmond, CA	Duplex	2
3	409-292-001	3443.75	1925 Sixth Street, Richmond, CA	Duplex	
3	409-292-001	3443.75	1929 Sixth Street, Richmond, CA	Duplex	2
3	409-292-001	3443.75	1931 Sixth Street, Richmond, CA	Duplex	
3	409-292-001	3443.75	1945 Sixth Street, Richmond, CA	Duplex	2
3	409-292-001	3443.75	1943 Sixth Street, Richmond, CA	Duplex	
3	409-291-009	3750	1932 Sixth Street, Richmond, CA	Duplex	2
3	409-291-009	3750	1930 Sixth Street, Richmond, CA	Duplex	
3	409-131-003	5000	1724 Sixth Street, Richmond, CA	Duplex	2
3	409-131-003	5000	1722 Sixth Street, Richmond, CA	Duplex	
3	409-282-005	3739.5	1817 Seventh Street, Richmond, CA	Duplex	2
3	409-282-005	3739.5	1819 Seventh Street, Richmond, CA	Duplex	
3	409-282-005	3739.5	1829 Seventh Street, Richmond, CA	Duplex	2
3	409-282-005	3739.5	1827 Seventh Street, Richmond, CA	Duplex	

ATTACHMENT 3

<p>Items Required For Submission: Provide the requested information in the order indicated below, with sections separated by labeled tabs corresponding to sections IV (A.) – IV (E.) below and their sub-sections. Use a 12-point font with single line spacing for all narratives.</p> <p>One original and 5 copies, including one copy on a thumb drive, are required to be submitted in the following order:</p>		<p>X</p>
<p>A.</p>	<p>Submittal Checklist (This Document)</p>	
<p>B.</p>	<p>Developer & Realtor Contact Sheet</p>	
<p>C.</p>	<p>Proposal Table of Contents</p>	
<p>D.</p>	<p>NonProfit Developer Information (Sections 1-3)</p>	
	<p>1. Local Nonprofit Developer Preference Information</p>	
	<p>2. Development Team Experience</p>	
	<p>3. Development Team Capacity</p>	
<p>E.</p>	<p>Proposed Project Information</p>	
	<p>1. Project Goals Alignment Narrative</p>	
	<p>2. Community and Homebuyer Engagement Strategy</p>	
	<p>3. Financing Narrative</p>	
	<p>4. Affirmative Marketing Plan and Buyer Selection</p>	
	<p>5. Demonstration of Overall Innovation and Creativity</p>	

ATTACHMENT #4: BUYER and REALTOR DESCRIPTION

A. Buyer Information (*repeat this section as necessary if Applicant is a joint venture or non-profit partnership of two or more entities*)

Name of Purchasing Entity	
Buyer's Address	
Phone	
Type of Organization (<i>i.e.</i> 501(c)3, corporation, LLC, etc)	
Non-Profit or For-Profit organization?	
Name and Title of Principal	
Person with Signatory Authority	
Is this Entity the Lead Buyer? (only if there is more than one buyer)	

B. Key Realtor Personnel Who Will Work on Project (*add lines as necessary for all Key Realtor(s) Personnel who will work on the Project*)

Lead Realtor Personnel:	
1. Name of <i>Lead Contact for the Team</i>	
<i>Phone</i>	
<i>Email</i>	
Title	
Role on Proposed Project	
2. Name	
Title	
Role on Proposed Project	
3. Name	
Title	
Role on Proposed Project	
Other Realtor Entity Personnel (if applicable)	
1. Name	
Title	
Role on Proposed Project	
2. Name	
Title	
Role on Proposed Project	
3. Name	
Title	
Role on Proposed Project	

NOTE: This form will be posted along with the RFP on HACCC's website and can be downloaded and filled out electronically. The completed form however must be submitted as a hard copy PDF along with all other proposal materials as outlined in the RFP.

C. Contractor Information and All Key Personnel Who Will Work on Project (If Applicable) *(add lines as necessary for Key Personnel)*

Name of Contractor Company	
Name of Contact Person:	
Address	
Phone	
Email	
Key Personnel Who Will Work on Project Team	
1. Name	
Title	
Role on Proposed Project	
2. Name	
Title	
Role on Proposed Project	

D. Property Management Entity and All Key Personnel Who Will Work on Project – (if applicable) *(add lines as necessary for Key Personnel)* –

Property Management Entity Name	
Address	
Name of Contact Person	
Phone	
Email	
Key Personnel Who Will Work on Project Management Team (not including the Site Manager)	
1. Name	
Title	
Role on Proposed Project	
2. Name	
Title	
Role on Proposed Project	
3. Name	
Title	
Role on Proposed Project	

(Note: Resumes for All Personnel listed on this form may be included in this section of the submission.)

NOTE: This form will be posted along with the RFP on HACCC’s website and can be downloaded and filled out electronically. The completed form however must be submitted as a hard copy PDF along with all other proposal materials as outlined in the RFP.



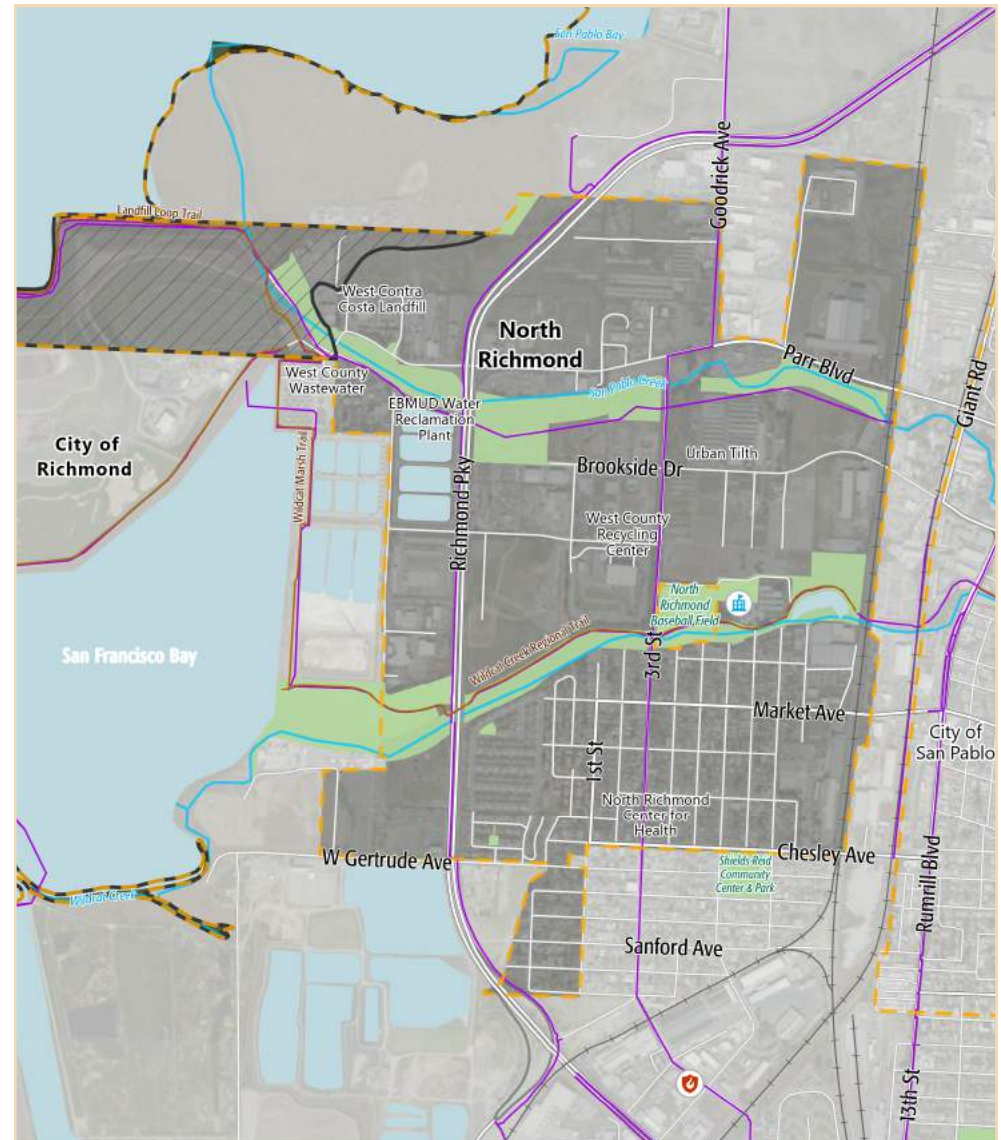
North Richmond, surrounded almost entirely by the City of Richmond, was a quiet area until the boom of World War II attracted people to the employment opportunities from the nearby Kaiser Shipyards. Due to redlining practices at the time, black and other minority workers found it challenging to identify housing options near the shipping ports and railyards, forcing them to relocate to North Richmond, which was a pocket of affordable, accessible housing for minority households, but with little neighborhood infrastructure. Following wartime, many residents stayed to work in the petroleum, railroad, and shipping industries in Richmond, and the community continued to grow.

Today, North Richmond is primarily residential south of Wildcat Creek; north of the creek, heavy industrial uses dominate. Housing is relatively affordable compared to the rest of the Bay Area, but the housing stock is aging and many households face high housing cost burdens and poor infrastructure. These factors, combined with North Richmond's proximity to job centers and its position on the Interstate 80 corridor, place it at risk of gentrification and displacement of existing residents, many of whom are renters. There are no affordable housing complexes in the community, and while the County offers housing choice vouchers to eligible applicants for use in North Richmond, residents would like more affordable housing incorporated into new development. There is a strong and growing urban farming movement that has transformed vacant lots into community gardens, improving access to fresh, healthy, and affordable food.

North Richmond residents are actively engaged in the local planning process and advocate for their community through Urban Tilth, the Verde Elementary School, the Watershed Project, and other neighborhood organizations, but planning is complicated due to the large portion of the neighborhood divided across the City of Richmond's boundaries. Given their close proximity to heavy industrial uses, including the Chevron Richmond Refinery, residents are very concerned about community health, along with other issues like crime and illegal dumping. There are regulations in place that mitigate emissions from new industrial users, and the community is working with the Bay Area Air Quality Management District (BAAQMD) to develop an action framework for community air protection, given North Richmond's status as a Community of Concern. In addition, while there have been recent levee improvements and streetscape and sidewalk improvements, community members would like additional roadway infrastructure and transit improvements that ensure safe, equitable, and affordable transportation access for all modes.

WHO LIVES IN NORTH RICHMOND?

<p>Median Age 30 years old in North Richmond</p> <p>VS</p> <p>39 years old in Contra Costa County</p>	<p>Average Life Expectancy 77 years old in North Richmond</p> <p>VS</p> <p>81 years old in Contra Costa County</p>	<p>Median Household Income \$50,313 in North Richmond</p> <p>VS</p> <p>\$88,456 in Contra Costa County</p>	<p>Race</p> <ul style="list-style-type: none"> ▶ 49% White ▶ 22% Black or African American ▶ 9% Asian <p>Ethnicity</p> <ul style="list-style-type: none"> ▶ 65% Hispanic or Latino
---	--	--	--









<ul style="list-style-type: none"> Unincorporated Areas Incorporated Cities Urban Limit Line Parks, Protected Lands, and Watersheds Trails 	<ul style="list-style-type: none"> Existing Bikeways Railroads Creeks and Drainages Fire Stations Schools 	<p>0 .5</p> <p>Scale (Miles)</p>
---	--	----------------------------------

Source: Contra Costa County, 2018; PlaceWorks, 2020.

The information on this page presents a summary of hazards and vulnerabilities in the North Richmond community based on the Contra Costa County Vulnerability Assessment; please see the [online Vulnerability Assessment](#) for a full description of these hazards and vulnerabilities.

Hazards

-  Air quality from increased ozone and diesel particulate matter
-  Coastal flooding
-  Extreme heat
-  Flooding
-  Human health hazards
-  Seismic hazards

Major Vulnerabilities

Cost-burdened households and households in poverty are vulnerable to coastal flooding and seismic hazards.

Persons experiencing chronic illnesses, homeless persons, and households in poverty are vulnerable to air quality, extreme heat, and human health hazards.

Levees located in North Richmond are vulnerable to coastal flooding.

The recycling center in North Richmond is vulnerable to coastal flooding.

Public transit access, water and wastewater services, energy delivery services, and solid waste removal services are vulnerable to multiple hazards.



These images represent hazards to which North Richmond is vulnerable, including earthquakes, flooding, and extreme heat.

FLOOD ZONES



Flood Hazard Areas	Unincorporated Areas
100-Year Flood Zone	Incorporated Cities
500-Year Flood Zone	Urban Limit Line
Areas of Undetermined but Possible Flood Hazard	Outside Urban Limit Line
Water	Railroads
	Creeks and Drainages

A 100-year flood zone represents a 1% chance of flooding in any given year.
 A 500-year flood zone represents a 0.2% chance of flooding in any given year.



DISADVANTAGED COMMUNITY

The County has identified North Richmond as a disadvantaged community under Senate Bill (SB) 1000, which requires the County to integrate environmental justice into the General Plan. This law is based on the understanding that some communities have experienced a combination of historic discrimination, negligence, and political and economic disempowerment. Often, this has resulted in a disproportionate burden of pollution and health impacts and disproportionate social and economic disadvantages in these communities.

The 20 indicators that contribute to North Richmond’s identification as a disadvantaged community are highlighted in the chart to the right, with additional details provided in the maps that follow, based on State data from **CalEnviroScreen**. The chart shows how North Richmond ranks for each indicator compared to the rest of the state. The State identifies disadvantaged communities as those where the combined ranking for all factors is 75 percent or higher.

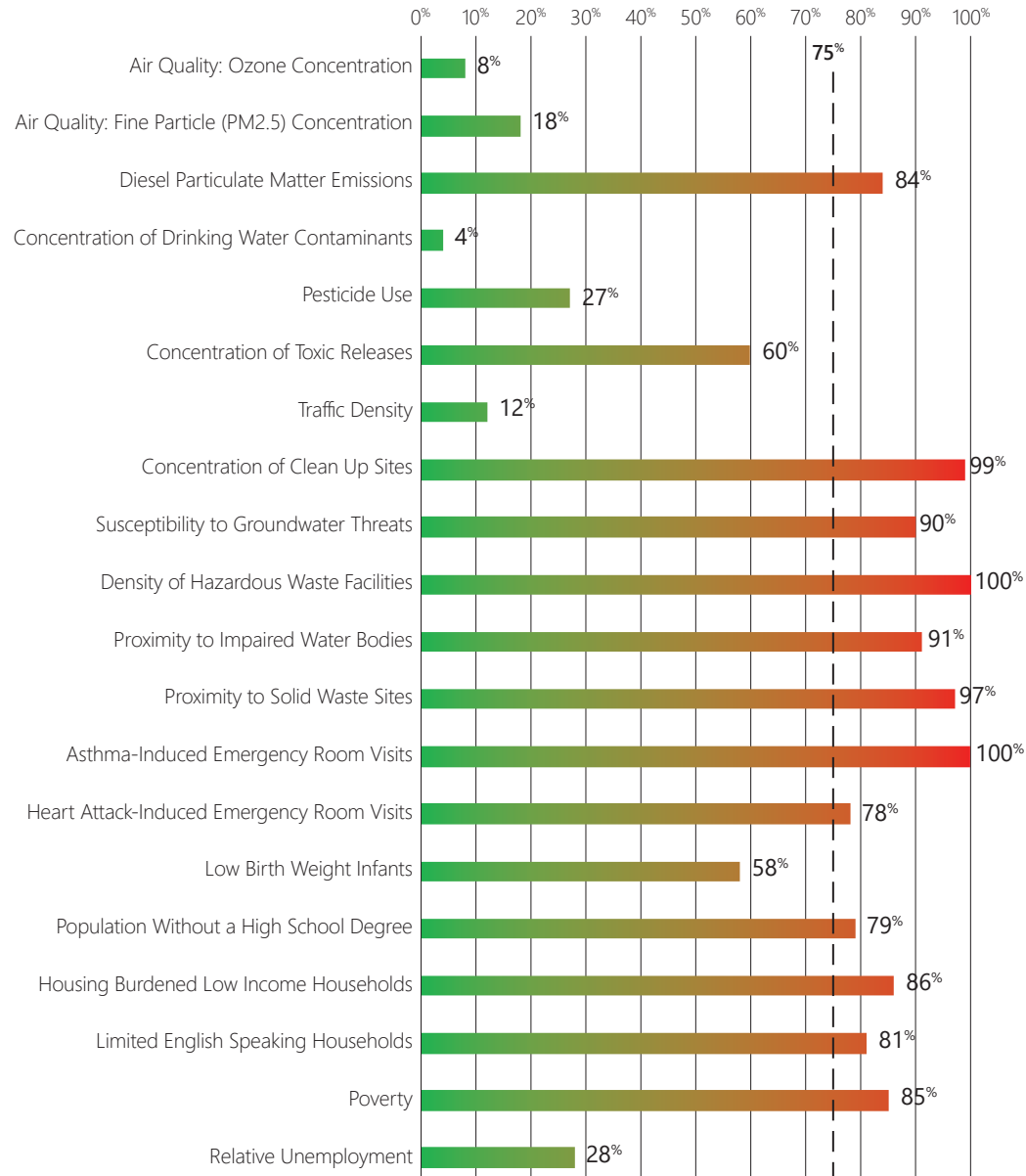
North Richmond experiences high levels of diesel particulate matter due to the oil refinery, chemical companies, highways, rail yards, shipping ports, and marine terminals located within and near the community. Exposure to these chemicals causes eye, throat, and nose irritation, along with heart and lung disease. As shown in the chart, North Richmond residents visit the emergency room for asthma conditions at a rate that is among the highest rate in the state. There are frequent violations of air quality rules from facilities in and around North Richmond, and air testing has found unsafe levels of industrial pollutants inside residents’ homes.

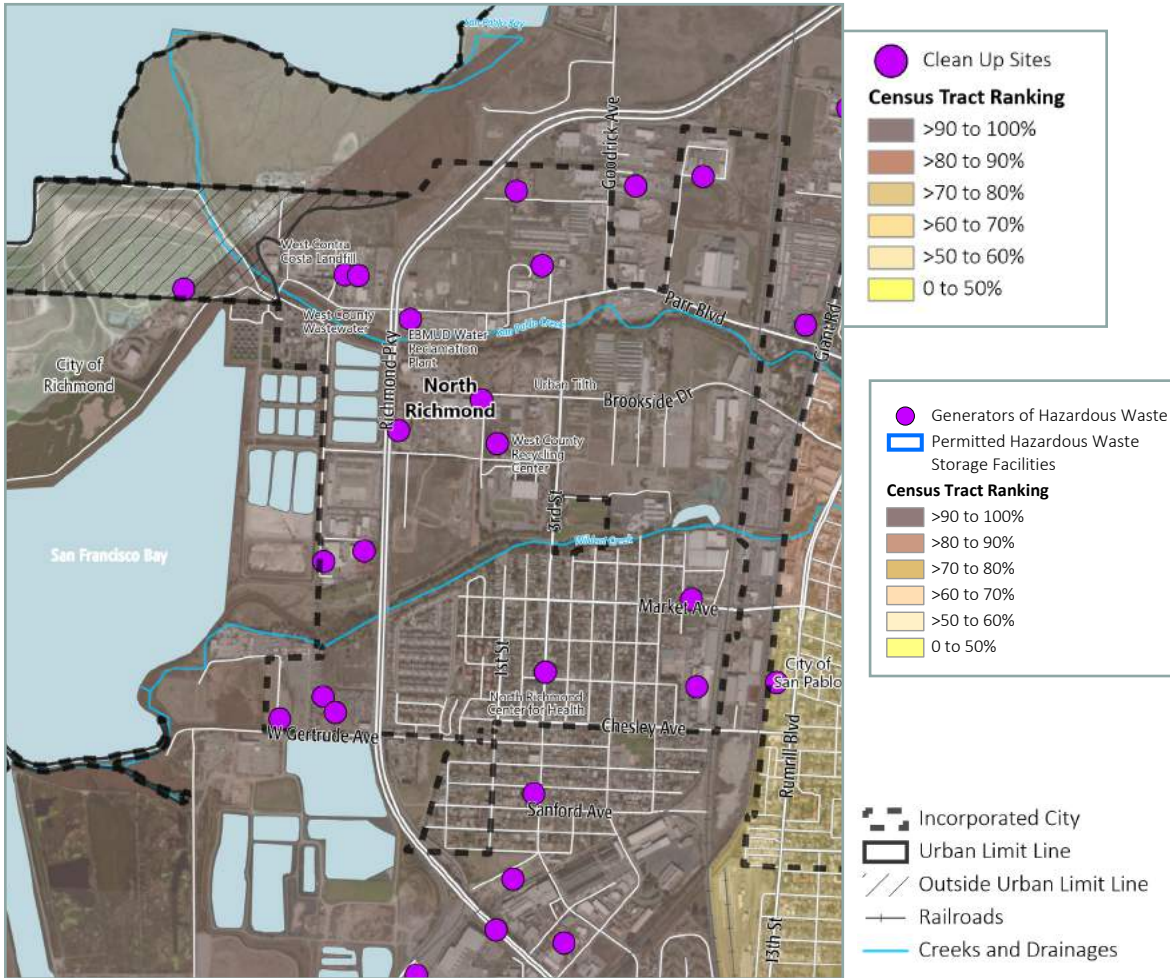
There are also many hazardous waste facilities and generators that affect North Richmond, including the Chevron Refinery, chemical companies, and Superfund sites. Beyond the acute risks to human and environmental health, these sources also raise concerns about odors, vermin, and increased freight traffic.

The community also is burdened by a high rate of crime, having one of the highest per-capita homicide rates in the nation. In addition to safety concerns, outdoor recreation and active transportation is also hampered by a lack of maintenance of existing trails and the need for more connected walking and biking infrastructure. Limited access to active recreation and transportation, coupled with limited access to stores that sell fresh and healthy food, can lead to poor health outcomes for local residents. However, a strong and growing urban agriculture movement is helping to bring healthy food options to North Richmond.

DISADVANTAGED COMMUNITY INDICATORS (2017)

Ranking of North Richmond Census Tract Relative to the State





CLEAN UP SITES

This map ranks Census tracts based on the concentration of clean up sites, which are sites undergoing clean up actions by governmental authorities or property owners due to environmental degradation from hazardous substances. The ranking also considers the nature and magnitude of the threat and the site type and status. The North Richmond Census tract is ranked at 99 percent, meaning that the area has a concentration of clean up sites that is higher than 99 percent of the state. In addition, some of the clean up sites in North Richmond are within the 100 year and 500 year flood zones (see map on page 2), posing risk of further contamination during a flood event.



HAZARDOUS WASTE

This map ranks Census tracts based on the density of hazardous waste facilities and generators (e.g., the Chevron Refinery), considering each facility's type and permit status and generator activities. The North Richmond Census tract is ranked at 100 percent, meaning that it has a density of hazardous waste facilities and generators that is among the highest in the state.





SOLID WASTE

This map ranks Census tracts based on the proximity to solid waste sites and facilities, considering each facility's type, proximity to nearby communities, reported odor complaints, and more. The North Richmond Census tract is ranked at 97 percent, meaning that the area is more exposed to solid waste hazards than 97 percent of the state.

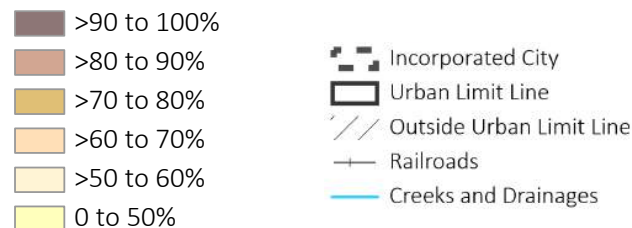


Source: CalEnviroScreen, 2018; Contra Costa County, 2018; PlaceWorks, 2020.



● Solid Waste Facilities

Census Tract Ranking



PLANNED LAND USE

Land use designations for North Richmond are shown on the land use map. The area south of Wildcat Creek is the heart of the community. In that area, land use designations plan for the continuation of residential uses at a range of densities supported by local-serving commercial development. The Town Center designation along Fred Jackson Way envisions a combination of affordable, multi-family residential units and ground-level retail and office uses.

North of Wildcat Creek and along the railroad tracks, there is extensive existing industrial development, which is supported by the commercial processing designation. Land use designations also reflect existing public uses, including Verde Elementary School and an East Bay Municipal Utility District water treatment facility.

The North Richmond Design Guidelines provide more detailed design guidance for development in this area.

The County's zoning map will implement the planned land uses described above. The zoning map is also being updated as part of Envision Contra Costa 2040; draft changes will be published for public review and discussion when available.



Office use in North Richmond.



Multi-family senior housing in North Richmond.



Small lot single-family housing in North Richmond.



Public facilities celebrating community culture in North Richmond.

GUIDING PRINCIPLES

In 2019, Healthy Richmond published the Quality of Life (QOL) Plan, which was developed with robust community engagement and under the direction of the North Richmond Leadership Team, a group of North Richmond residents dedicated to organizing and voicing the aspirations and concerns of the North Richmond community. The QOL Plan informed the creation of guiding principles, policies, and actions in this community profile; references to specific QOL Plan priorities are noted in parentheses at the end of relevant policies and actions.

The following guiding principles articulate the values, priorities, and aspirations for the future shared by North Richmond community members:

1. Affordable rental and ownership housing opportunities in North Richmond should be expanded and integrated into market rate developments. A range of housing types should be available to meet extremely low, very low, and low income levels, and existing North Richmond community members should be prioritized for available housing.
2. Achievement of housing development goals should be balanced with maintaining quality of life, parking availability, circulation, and property values for current residents.
3. North Richmond residents who lack housing should have access to quality services and treated with dignity and respect. Vital, easy-to-access community programs related to homelessness, rehabilitation, education and training, youth, and elderly services should be available.
4. Sensitive uses, like schools and senior housing, should be buffered from heavy industrial uses.
5. Industrial uses in and around North Richmond should transition to renewable energy and other clean industries that don't pose health risks to the neighborhood.
6. North Richmond residents should have better access to Wildcat Creek, the bay shore, and other parks and green spaces. Students at Verde Elementary should be able to access open spaces via a safe and connected trail network.
7. North Richmond should provide a healthy and safe environment, where vacant lots have transitioned into vibrant community assets like community gardens.
8. Streets in North Richmond should be more inviting, including by repairing and adding sidewalks, increasing street lighting, planting trees, improving parking, and eliminating illegal dumping. Public infrastructure, including green infrastructure, should be upgraded and well-maintained, and the design of the built environment should contribute to crime prevention.
9. North Richmond should be a safe place for people of all abilities to walk, bike, and drive. Speeding and cut-through traffic should be eliminated, impacts from truck traffic should be mitigated, and railway crossings should be separated from the roadway.

GUIDING PRINCIPLES (CONTINUED)

10. North Richmond residents should have access to affordable and reliable public transportation with more frequent bus connections to the BART station and bus stops that provide amenities to increase safety and comfort, such as shelters, benches, lighting, and landscaping.
11. North Richmond residents should enjoy easy access to affordable, healthy, and fresh food, including grocery stores, farmers markets, and community gardens.
12. New mixed use and commercial development that works with and benefits residents should be encouraged in North Richmond. The local economy should offer diverse employment opportunities that promote social mobility and the self-sufficiency of the community.

POLICIES

1. The maximum allowed density and intensity of development in the Town Center designation is 50 units per acre and 1.5 floor area ratio (FAR).
2. Coordinate with the West Contra Costa Unified School District, the East Bay Regional Park District, the City of Richmond, and local residents, including youth, to enhance existing open spaces, including Shields-Reid Park, Verde Elementary School, Wildcat Creek trails, and the Lucky As Field, to provide civic, education, social, and recreational benefits for the community (QOL I.3)
3. Encourage the West Contra Costa Unified School District to secure permanent funding for afterschool programs in North Richmond and expand the continuing education opportunities for adults in North Richmond, targeting the area around Verde Elementary School.
4. Coordinate with local non-profits to celebrate the history of diversity in North Richmond, such as through community events and public art.
5. Ensure that new development follows the North Richmond Design Guidelines.
6. Prohibit the construction of large walls or gates that divide the community. (QOL Y.4)
7. Require that new industrial development pay special attention to upgrading the visual appearance and unity of the area through quality architectural and landscape design and utility undergrounding. (3-188)
8. Continue to monitor air quality through air monitoring sensors installed throughout the community as part of the Community Air Protection Program (Assembly Bill 617).
9. Require that new development in North Richmond incorporate green infrastructure solutions to minimize flooding and environmental pollution, such as bioswales, detention or retention ponds, and cisterns that capture rainwater for irrigation. (QOL I.7)

POLICIES (CONTINUED)

10. Promote the use of native plants in green infrastructure, landscaping, and parks.
11. Require that new private and public development, including roadway projects, incorporate Crime Prevention Through Environmental Design (CPTED) principles of access control (such as appropriately located doors and fences), visibility (such as adequate lighting, windows that look onto public and private spaces, landscaping that does not offer hiding places), clear boundaries between public spaces and private spaces (through signage, sidewalks, or other visual cues) and maintenance. (QOL I.1)
12. Support workforce development and wealth-building programs for local residents and locally owned businesses, cooperatives, and other uses offering benefits to the community, such as a grocery store or community kitchen. (QOL B.1)
13. Seek community benefit agreements for large businesses in North Richmond. Such agreements could include requirements for local hiring, apprenticeship and training programs, and funding for school and education programs. (QOL H.4, B.3)
14. Continue to support the vibrant urban agriculture operations in North Richmond. (3-194)

ACTIONS

1. Seek funding to construct a new community center in North Richmond that serves youth and families, and support programming that promotes employment opportunities and workforce development. (QOL Y.3, I.5, I.6)
2. Assign a new seat on the North Richmond Municipal Advisory Council for a youth representative. (QOL Y.2)
3. Seek Opportunity Zone funding or support community advocacy for a social impact bond, with non-profit governance, to develop funds for renovation of North Richmond homes by the local labor force.
4. Restore creeks with native plants, including planting an urban forest at the eastern end of Wildcat Creek, and develop new amenities, connections, and access points along Wildcat Creek. Consider partnering with local non-profit organizations to maintain vegetation along the creek.
5. Prepare an urban greening plan for North Richmond that would include a quantitative canopy target.
6. Develop an action plan to reduce air pollution and exposure in the North Richmond community.

ACTIONS (CONTINUED)

7. Construct trail connections to the Bay Trail and to residential areas, including the residential areas adjacent to Wildcat Creek, and install amenities like wayfinding, educational signs, bathrooms, water fountains, and benches.
8. Seek funding for and conduct a community-led process to complete the Wildcat Creek Trail crossing to the marsh with a multi-use trail over Richmond Parkway.
9. Install and monitor security cameras in areas where illegal dumping is common.
10. Prepare and implement a street corridor and gateway beautification plan that celebrates the unique historical identity of North Richmond and instills civic pride and a sense of unity among residents. (QOL B.6)
11. Update the North Richmond Specific Plan to encompass the entire North Richmond community and integrate goals and concepts from recent planning efforts, including the 2019 Quality of Life Plan launched by the North Richmond community and the 2018 Priority Resilience Plan developed as part of the Bay Area Resilient by Design Challenge. (QOL I.8)
12. Expand the area covered by the Safe Routes to School program for Verde Elementary to provide safe connections between the school and offsite afterschool programs.
13. Develop a plan for equitable access to active transportation and to address speeding, dangerous intersections, and cut-through traffic on 1st Street and Richmond Parkway. (QOL S.1)
14. Install pedestrian and bicycle improvements to increase safety and comfort along Fred Jackson Way.
15. Designate truck routes in and to North Richmond that minimize impacts on schools and homes.
16. Study possible incentives to encourage local residents to open businesses in North Richmond, such as property tax rebates, sales tax rebates, and breaks on other taxes and fees that the County controls, and adopt the most effective incentives.
17. Consider options and develop an ordinance to restrict bars and liquor stores in North Richmond that consider areas where there are high concentrations of similar establishments. To inform the development of this ordinance, create a map that identifies the locations of current establishments of these types, and regularly maintain it so that it continues to aid in decision-making about such uses.



2019

North Richmond Quality of Life Plan





Healthy Richmond

1015 Nevin Avenue, Suite 101
Richmond, CA 94801

healthyrichmond.net

Contents

- Summary 3
- Our Community 4
- Our Process 13
- Our Vision 15
- Our Priorities 17
 - Housing..... 18
 - Youth & Education..... 20
 - Community Safety..... 21
 - Business 22
 - Integrated Strategies..... 24
- Our Action Plan 31
- Acknowledgements 38
- About Our Supporting Partners 40



Summary

A plan development 'by' and 'for' residents!

The future of communities like North Richmond are normally the results of plans made by the government and Real Estate Developers. North Richmond resident leaders have taken a bold step to declare their aspirations for the future of the community they live in and care about deeply. Current and former residents have sought to participate in and influence the planning and development process for their neighborhood. The product of these efforts is a shared vision for the future of the North Richmond community. This Quality of Life Plan is a practical roadmap for the implementation of future development in the neighborhood.

The Quality of Life Plan process was initiated when community members learned that the Housing Authority of the County of Contra Costa sought to redevelop the historical affordable housing project, Las Deltas, which sits in the heart of the community. While this is an opportunity for improving the living conditions of the unincorporated neighborhood, residents are acutely aware of the threat of gentrification and displacement.

The North Richmond Resident Leadership Team was created to organize and voice the aspirations and concerns of the North Richmond community for the development of this plan.

Healthy Richmond and the Richmond Neighborhood Housing Services supported the Leadership Circle which is comprised of both a ten-member Resident Leadership Team and several organizations that have provided their expertise across multiple issue areas such as housing, community safety, youth/education and business opportunity.

This process has evoked a spirit of learning and action. The Resident Leadership Team has organized several research meetings to learn about a variety of issues. Regional experts joined multiple planning sessions to present on best practice models, such as cooperative business development, equity-based community development efforts here in Richmond, and models for community benefit agreements. The community is now ready to initiate several action projects over the next year and has set the stage for residents to lead the way toward the vision of their neighborhood over the next ten years and beyond.

"I love that I get to help voice the needs and concerns of residents [...] while also helping to construct a vision for the future of North Richmond."

- Karen García

Our Community

History

North Richmond has a history of cultural richness, community spirit, and resilience in the midst of racially discriminatory policies and real estate practices that created economic and housing hardship for its residents. Before World War II, African Americans were concentrated in North Richmond. Restricted housing covenants and racial exclusivity prohibited the African American population from buying property in the city of Richmond. While the federal government built housing in the 1940s for white workers employed at the Kaiser shipyards, the North Richmond neighborhood had narrow lots with makeshift homes.

The neighborhood received less services and was subject to frequent flooding, inadequate garbage collection and sewage disposal, less police protection, and unpaved streets – dating back to the late 19th century when North Richmond was a rural community primarily made up of immigrants from Italy, Portugal, Mexico, Japan, Laos. African American migrants from the South found that the West Coast was no refuge from institutional discrimination, but nonetheless created a vibrant community of their own in North Richmond.







Over the years, descendants of these early community builders have continued to live and work in North Richmond. Today, the neighborhood has diversified, and according to the 2016 US. Census estimate, the population includes 16.4% Black/African-American, 64.9% of Hispanic/Latino origin, 4.6% White, 12.2% Asian, and 1.9% two or more races.

¹ Brief history summarized from Rogers, R. (2011, June 8). A Journey Into North Richmond. Retrieved from <http://richmondconfidential.org/2011/06/08/part-2-north-richmonds-inauspicious-beginnings/>

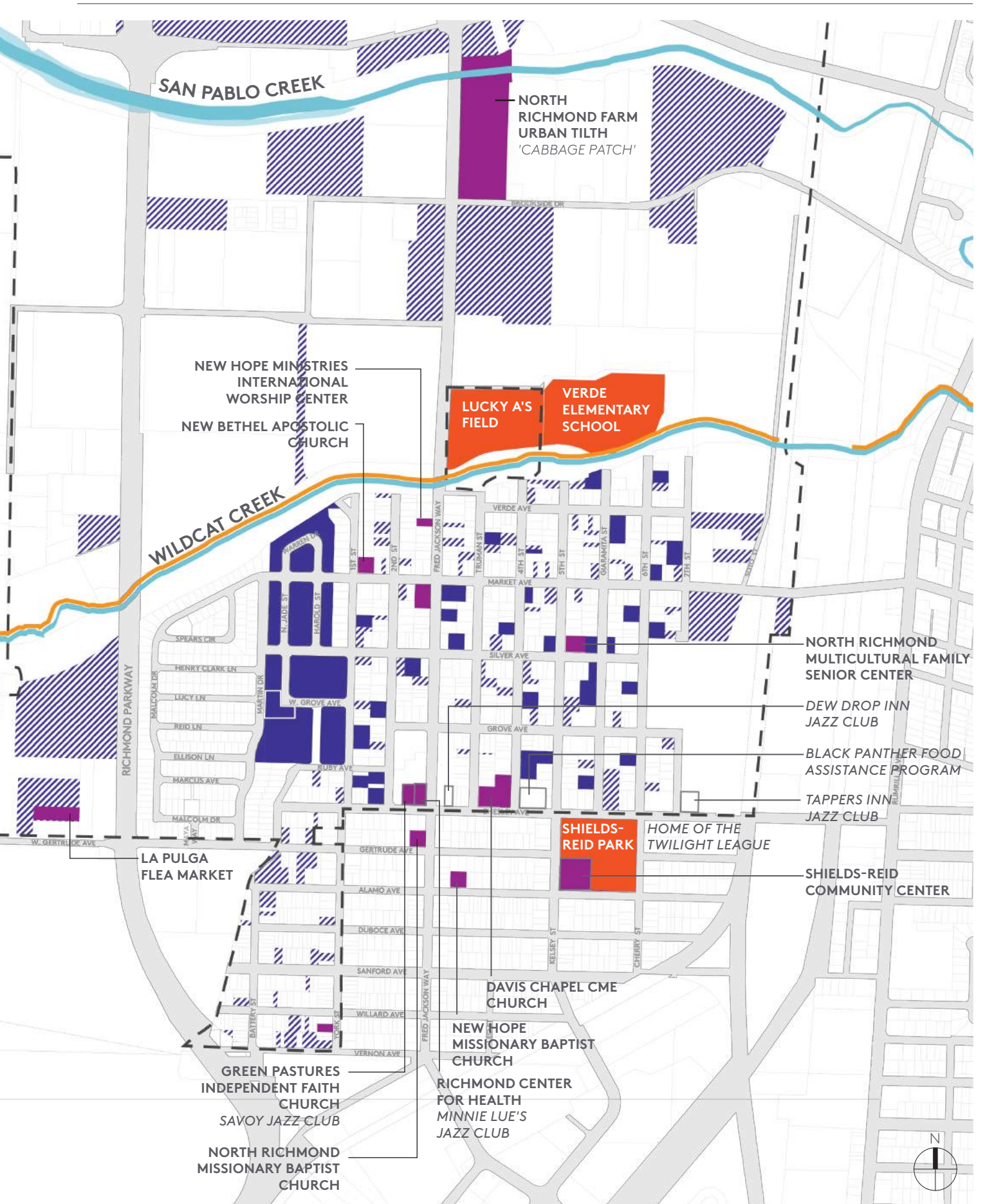


ASSET MAP

LEGEND

-  Housing Assets / Las Deltas
-  Housing Opportunities / Vacant Residential Parcels
-  Youth & Education
-  Community
-  Bay Trail
-  North Richmond boundary

*Italics highlight historical cultural assets



A Legacy of Political Advocacy

North Richmond has long served as a hotbed of activism and community leadership. Throughout the decades, local residents have emerged and led movements to strengthen the neighborhood and serve their community.

Among the more famous episodes came in 1967, when the fatal shooting by a Contra Costa Sheriff Deputy of Denzil F. Dowell, an African American resident, triggered one of the first major organizing campaigns by the then-nascent Black Panther Party. As residents bolstered the Panther's efforts, it soon came to light that Dowell had endured unjustifiable harassment before his killing, and that Dowell allegedly had his hands raised in surrender when he was shot.

The great Charlie Reid, whose name today graces the community center on Chesley and Kelsey, influenced generations of North Richmond families through his emphasis on athletics and discipline. Reid was a revered community leader from the 1940s to the 1970s, a man who enriched literally thousands of youths' lives and even played Santa Claus for a community celebration every Christmas.

Fred Jackson, for whom North Richmond's largest road is named, also focused his activism on supporting

North Richmond's children, as well as serving as a fierce advocate for more resources in the community. Jackson was a key community figure in ensuring that a Federal taskforce which worked to improve education in North Richmond in the late 1990s and early 2000s, truly served the interests of local families. He launched a multi-cultural choir and advocated for greater understanding and connection between the families of all backgrounds in the neighborhood. His musical talent brought us together and helped to bring compassion and healing to the broader community.

In the 1960s and 1970s, when North Richmond was commonly known as "Dodge City" due to frequent gunfire, leaders like Edwin "Red" Stephenson and Annie King Meredith of Neighborhood House of North Richmond worked to provide safe and healthy environments for youth and services for the poor. Neighborhood House itself was a trailblazing institution in North Richmond, one that fostered generations of African American leadership and expanded to provide multicultural services to a community that diversified with an influx of Latino and Asian immigrants. Ms. King Meredith remains an indispensable leader in North Richmond today, serving on the North Richmond Municipal Advisory Council (NRMAC) and partnering with agencies in government and the nonprofit sector to advance her community.

600

Ohlone Tribes arrive in the area now known as North Richmond, drawn to the resources provided by the rich marsh and coastline at the out fall of Wildcat and San Pablo creeks.



1901

Construction on the then **Standard Oil Refinery** began in 1901 between the Potrero Hills and the marshlands.

1948

The nearby refinery switches from using an electric railway to transport supplies between the refinery and the bayside docks to gas and diesel trucks, further **exasperating pollution** issues in North Richmond.

1950s

Planning and development of the **Las Deltas** affordable housing complex

1954

The American Friends Services Committee founds the **Neighborhood House** of North Richmond, which endures today as a multi-service, social advocacy agency.

1800 - 1900

North Richmond was a tiny enclave of light dwellings where largely **Italian, Mexican and Asian immigrants** worked in agriculture in the fertile areas between the two creeks



1939-1945

African Americans begin arriving in the Bay area from across the country during the **WWII labor surge** and were forced to settle in the low-lying and flood-prone topographic bowl through **de facto segregation**. By 1940 most of the area's African American population was concentrated in and around North Richmond. It was in close proximity to a garbage dump, it had few street lights, and its unpaved streets became muddy quagmires in the rain.



1956

North Richmond Neighborhood Council is formed, the first of its kind in the Bay area.

Another current member of the NRMAC with a long history of leadership in North Richmond is Dr. Henry Clark, Executive Director of the West County Toxics Coalition. Tall, intelligent and passionate, Clark has for decades sat on community boards, as well as on the committee that oversees spending of the mitigation fund, which County Supervisor Gioia established more than a decade ago by levying fees on the nearby waste-transfer station. Clark played a lead role in rallying the community for redress after General Chemical Corps.' toxic spill in 1993. His efforts were integral in the settlement from that disaster, the funds from which were used to help establish the West County Health Center, giving North Richmond one of the county's finest community health facilities in the entire County.

Many, many more have contributed to the history of activism over the years. Filmmaker Doug Harris, with the help of a troupe of youth apprentices, has created an amazing series of North Richmond history documentaries, a project that was first begun in the 1990s. Corinne Sain, the late Johnny White, Marena Brown, County Supervisor Gioia, and former County Supervisor Tom Powers are just a few of the people who have both become who they are through North Richmond and helped North Richmond become what it is – a place where leadership, service, advocacy and courage are embedded in the historical and cultural resilience of this community.

Continued Advocacy

The North Richmond Resident Leadership Team (RLT) is a group of residents who represent a strong organized voice in North Richmond and became knowledgeable about development projects impacting the community. They hold a variety of leadership roles in the community, including: Shop Steward Union Leader, First 5 West County Regional Group volunteer, with Love your Block of the City of Richmond volunteer, community garden organizer "Petite Children's Garden", School Site Council member at Verde Elementary School, a graduate from the WCCUSD Parent University Program, a Senior Center volunteer, and Watershed project community engagement coordinator. For two members of the leadership team, it is the first time doing organizing work in North Richmond.

Most of the North Richmond RLT have lived in North Richmond for at least ten years and identify as people of color. They include Lynn Abram, Berta Álvarez, Leticia Chávez, Angela Dowell, Karen García, Johana Gurdian, Sara Gurdian, Kapris James, Jannat Muhammad and Camilo Navarro. The North Richmond RLT is supported administratively by Healthy Richmond and Richmond Neighborhood Housing Services.



1967

The fledgling **Black Panther Party** holds a street rally protesting the police shooting of North Richmond resident, Denzil F. Dowell. This event helps thrust the party into the national spotlight.

1997

The Watershed Project is established, promoting resiliency, community and ecological awareness throughout the Richmond area.

2005

Urban Tilth develops in the community with a focus on sustainable, healthy and just local food system.



2018

Resilient by Design begins working with the North Richmond neighbors.

1966

Many new **North Richmond Community Groups** are established in response to weeks of street riots sparked by racial and ethnic tensions at Richmond High school. These riots were "a significant factor in advancing black political, economic and social programs."

1986

The **West County Toxics Coalition** is founded as a multi-racial membership organization founded to empower low and moderate-income residents to exercise greater control over environmental problems. The group leads demonstrations opposing the toxins emanating from the Chevron Refinery.



2012

Chevron Refinery settles for \$5 million a lawsuit from the City of Richmond alleging the refinery's negligence in releasing toxins and hydrocarbons. The settlement did not include an admission of guilt.

2019

A coalition of community stakeholders, non-profits, and public agencies create a **Quality of Life Plan** outlining community-led strategies to achieve their vision for a safe, healthy, and prosperous future.

North Richmond Resident Leadership Team (RLT)

8 The North Richmond Resident Leadership Team was created to organize and voice the aspirations and concerns of the North Richmond community for the development of this plan. Healthy Richmond and the Richmond Neighborhood Housing Services supported the Leadership Circle..



Berta Álvarez was a tenant in the Mission district of San Francisco. Her family decided to pursue homeownership, but they could not afford to do so in the city. Their search led them to North Richmond, where they now live in a house that they own. Berta's desire to learn about her new community led her to attend MAC meetings. She sought representation for the Hispanic community and soon learned the importance of working with the African American community to improve living conditions for all residents of North Richmond.



Lynne Abram was raised and grew up in North Richmond. She joined the North Richmond Resident Leadership Program because North Richmond and the community and the people in it are important to her. She feels the work of the committee is an important opportunity to improve the quality of life for residents of North Richmond.



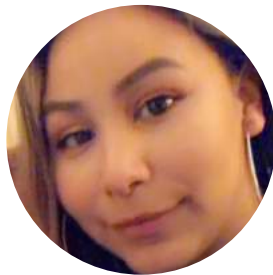
Leticia Chávez has made North Richmond her home for 15 years. She became involved to ensure that North Richmond can become a place where all residents can thrive. Leticia wants to influence North Richmond to be a healthy and beautiful place where her family can continue to live and feel safe by having affordable housing. Leticia wants to inspire future generations to advocate for positive changes for their community.



Karen García moved into North Richmond in 2012 to benefit from affordable housing. Soon after her daughter started Kindergarten at Verde Elementary, she became involved in her community. Karen is a member of the NRMAC (North Richmond Municipal Advisory Council) and participated in LOVE YOUR BLOCK. Karen is a passionate voice for the needs of her community and to construct a vision for the future of the North Richmond community.



Angela Dowell's family is rooted in North Richmond; her grandmother has been a resident since the 1950s. Angela was born and raised in North Richmond, and she learned the importance of volunteerism at Verde Elementary School. Although she is no longer a resident, she thinks all people should have a voice, no matter where they live, their color or finances. She wants residents to thrive and flourish, and for the neighborhood to not become gentrified.



Sara Gurdian is a student at Contra Costa College and a passionate advocate for environmental justice. Through her involvement in community organizations, she has come to understand the influence and strategies used to create local and regional policies. She strongly believes in the community having input on issues of housing, transportation, land use, and environmental issues. She hopes to recreate or implement North Richmond's Specific Plan.



Johana Gurdian will graduate in May 2019 from the University of California Berkeley with a Bachelor of Arts in Political Science. Her passion for civic engagement, political discourse, and love for her community led her to join this team. In the early 2000s, her parents bought their first home in North Richmond, which they were later forced to sell due to economic circumstances. Despite this challenge, North Richmond has fostered her growth and she hopes to make it a better community for her family, for those to come, and for those who may come back.



Kapris James is a single mother who became a homeowner in North Richmond in 2018. She is aware of the historical and current challenges that communities of color and low-income people undergo in the Bay Area— her goal is to help current North Richmond residents become homeowners and preserve the culture of the community.



Jannat Muhammad works with community members to build shared visions of the future. She is no stranger to community development or environmental justice issues, having spent nearly 40 years as a professional and community service volunteer, including housing issues and indoor and outdoor air quality issues. Jannat believes that working collectively, identifying our assets and weaknesses, will solve the majority of our problems.



Camilo Navarro has lived in North Richmond since the 2000s. He joined the community because of the nearby job opportunities. Over the years, he noticed many companies began to close and soon the African American community decreased. The history North Richmond carries sparked Camilo's interest in community organizing. He believes that in order to create change, all community members must be united.

Leadership Circle Stakeholders



Eric Acosta-Verprauskus (Mr. A-V) has served the youth of Richmond over the past decade in the role of teacher, coach, Vice Principal, and Principal. He is proud to serve the community of North Richmond and is inspired by the collective action within the community and its rich heritage.



Michelle Milam serves as Crime Prevention Manager for the Richmond Police Department where she oversees many of the department's crime prevention and community policing efforts, community partnerships, volunteer programs, and fund development. Working closely with community and public partners to improve public safety, Michelle is a strong advocate for community empowerment, especially for young people. She has more than 20 years of experience in community advocacy, political organizing, and campaigning against violence such as she witnessed growing up in Richmond.



Robert Rogers lives in Richmond with his wife and two children and serves as District Coordinator for Contra Costa County District 1 Supervisor John Gioia. Robert oversees county projects and services in North Richmond, advises the Supervisor on public safety policies, and assists in developing external communications strategies. He is a former newspaper reporter at the East Bay Times, San Bernardino County Sun, Riverside Press-Enterprise, and the Ford Foundation. He holds B.A. degrees from California State University, Fullerton, a certificate from Georgetown University's TFAS program, and an M.A. in journalism from UC Berkeley, where he worked as a lecturer at the Graduate School of Journalism.



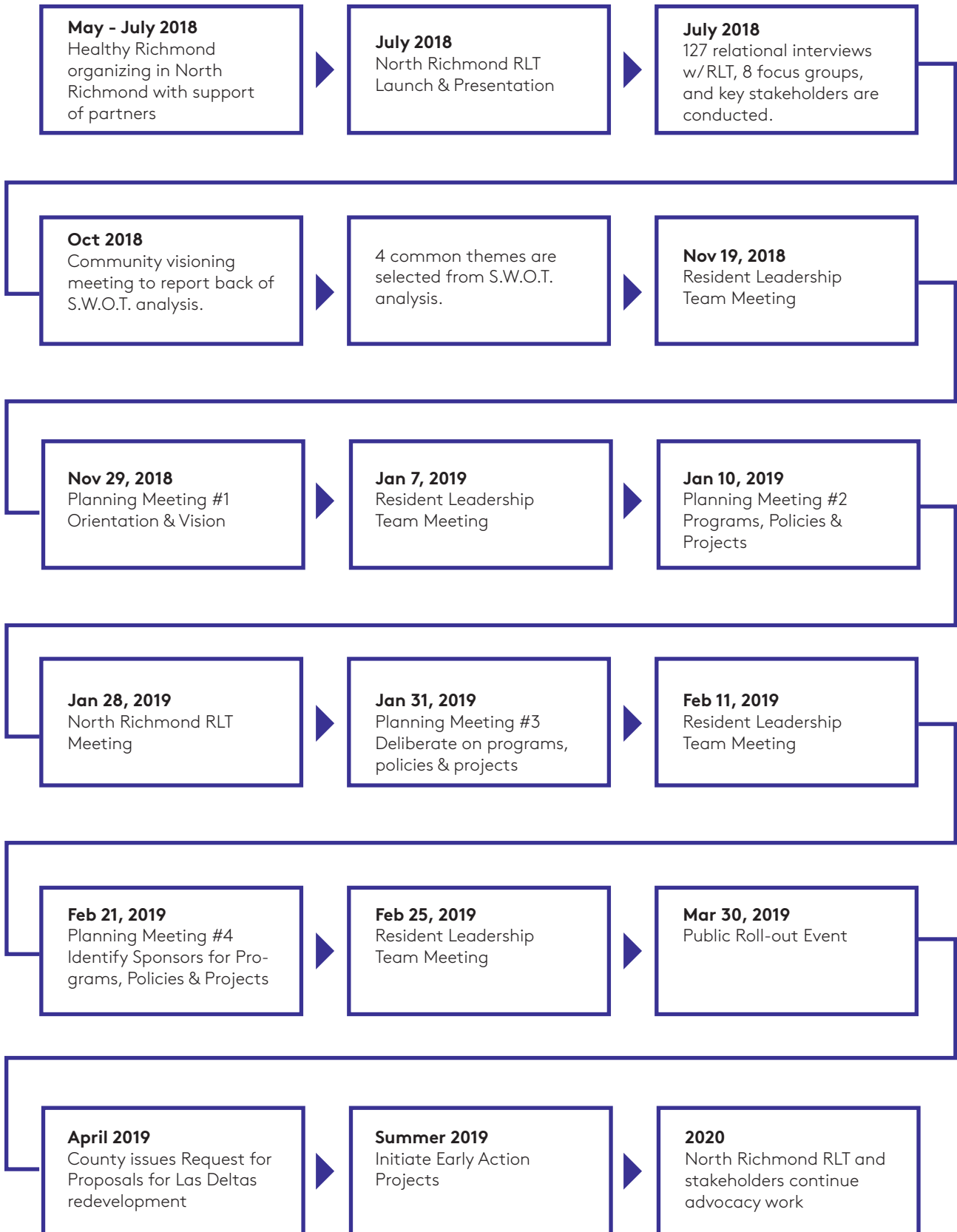
Amanda Elliott is a graduate of St. Mary's College Masters in Leadership Program. She has helped to improve the image of downtown Richmond by providing exciting activities and events that celebrate the rich history and diversity of the city. Amanda has been instrumental in organizing and implementing health & wellness activities and events. She has built strong relationships within the community and garnered support from area stakeholders including, business and property owners, community based organizations, local government and residents. Amanda serves on the City of Richmond Economic Development Commission.



Tony Ucciferri is the Special Assistant to the Executive Director for the Housing Authority of the County of Contra Costa where he is currently focused on the conversion of public housing to RAD and PBV-assisted housing. During his 30-year career in housing, he has served in numerous capacities including Director of HCV for the Housing Authorities of San Francisco and New Orleans and worked as an Analyst for the Housing Authority of the City of Alameda. He has specialized in the use of Project Based Voucher assistance, having worked with PHAs across the Bay Area, California and the U.S. to establish PBV programs. Through partnerships with non-profit housing developers, he's contracted over 3000 units of affordable and assisted housing in 99 projects and leveraged over \$1 billion in funding to ensure the availability of affordable housing for decades to come. He holds a B.A. from U.C. Berkeley in Political Science and, to date, is the only PHA recipient of the NPH Unsung Hero Award.



Joseph Villarreal is the Executive Director of the Housing Authority of the County of Contra Costa (HACCC). He oversees programs that provide affordable housing and supportive services to over 25,000 residents of Contra Costa County. Prior to coming to Contra Costa County, Joseph worked at the Benicia, Alameda County and Oakland Housing Authorities. He currently serves as a Board Member of the Contra Costa Council on Homelessness, the Kennedy King Memorial Scholarship Fund and is the current Board President of the Community Housing Development Corporation. He is a graduate of Carnegie Mellon University with a BS in Applied History.



Our Process

Summer 2018

The North Richmond Resident Leadership Team surveyed the community at large to inform a robust visioning process. They interviewed 108 individuals, asking each person to describe the strengths, weaknesses, opportunities and threats (SWOT) associated with North Richmond. Interviews were open-ended conversations with the purpose of listening actively to the concerns and feelings of many residents. To reach a broad swath of the North Richmond community, the resident leaders canvassed all corners of the neighborhood and attended multiple community events. In addition, Healthy Richmond conducted SWOT interviews of eight focus-groups composed of institutional stakeholders.

October 2018

The North Richmond RLT staged a community visioning event at Verde Elementary School attended by over 80 people from the community. The resident leaders presented an assessment of the community's needs based on data collected from the community surveys and focus-groups interviews. The data were organized and presented in eight thematic areas. The event concluded with group discussions among attendees and distribution of a written report describing the major themes that were most commonly shared across the interviews.

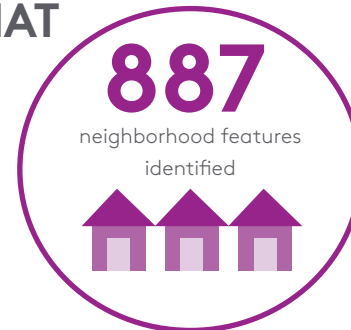
November 2018 - March 2019

Public planning sessions were held twice a month to move the community from a general vision to a Quality of Life Plan in four issue areas identified as priorities: housing, business, safety and youth. Institutional stakeholders were invited to join a "Leadership Circle" to work together with residents to identify sponsors, implementing partners, and resources to bring about the community vision.

WHO



WHAT



HOW





Our Vision

Our Vision

We envision a North Richmond where residents enjoy a high quality of life made possible by affordable housing, living-wage jobs, community services and public safety.

In our vision, we will have:

- mixed-use residential and commercial development meets the needs of all segments of the population, with priority given to affordable housing and repurposing of vacant lots;
- the economy offers diverse employment opportunities that promote social mobility, and small and large enterprises contribute to the self-sufficiency (including food security) of North Richmond;
- vital community programs related to homelessness, rehabilitation, education and training, youth and elderly services, are easy to access;
- public infrastructure, including green infrastructure, is upgraded and well-maintained, and the design of the built environment contributes to crime prevention;

Ultimately we envision a safe and prosperous environment that is home to healthy and engaged residents and creates positive opportunities and outcomes for young people.

Our Commitment

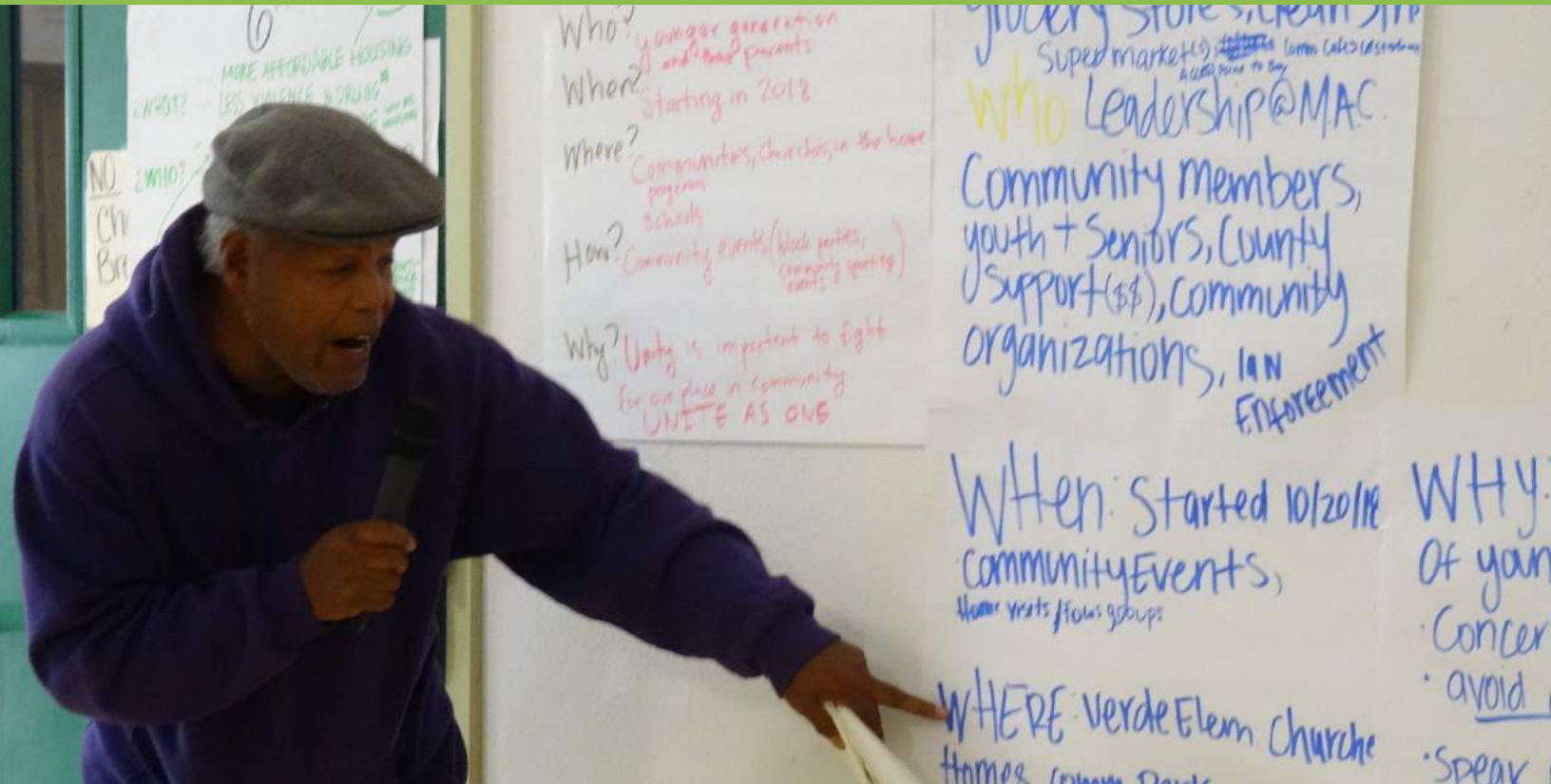
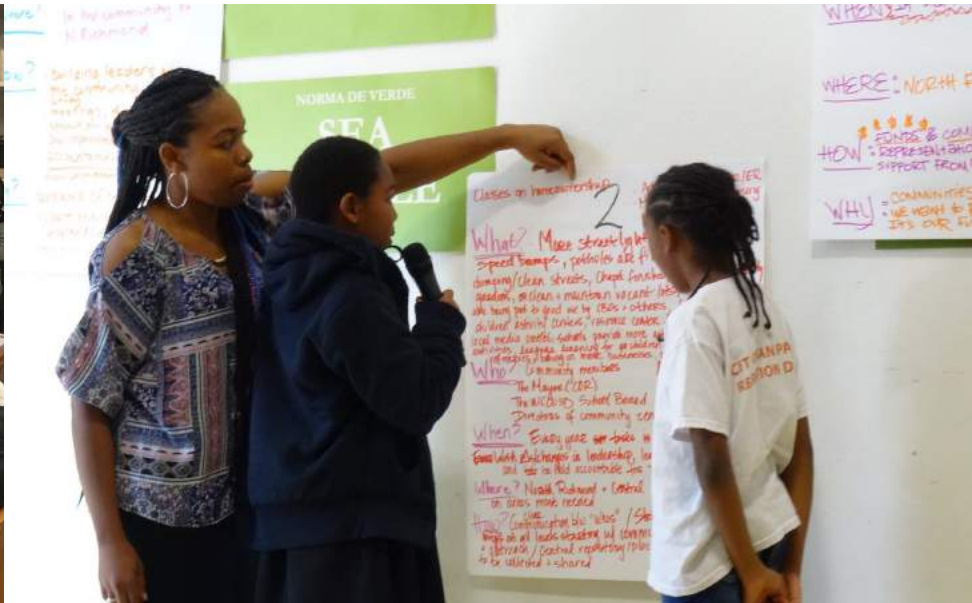
We commit to implement this vision in such a way that demonstrates how diverse people can live and work together in unity.

Positive change is achieved through collaboration among many stakeholders and empowerment of resident leaders from multi-racial and multi-generational backgrounds.

A coalition of residents meets regularly to update the community vision, make plans and set priorities, and form partnerships with local officials, developers and other stakeholders to implement the vision. In addition, there is ongoing consultation between the community and developers.

Diverse streams of funding are pursued at the federal, state and local level. Potential financing mechanisms include Community Benefits Agreements, Low-Income Housing Tax Credits, grants and local fundraising.

People who have power to bring about change are held accountable to their promises, and the relationship among residents, or between residents and other stakeholders, is coequal and mutually respectful.



Our Priorities

The changes that we seek for North Richmond must begin now.

The following priorities and strategies reflect the engagement process that began in summer 2018 and the work of the North Richmond RLT. These highlight projects, programs, or policies for implementation in North Richmond to realize the community vision. Each includes potential partners for implementation and partners for knowledge and skill-building to learn more about potential strategies.

The priorities that the community decided to work on focus on Housing, Community Safety, Youth & Education, and Business Opportunity, and several that integrate some or all of these categories. The next section lays out action plans to ensure that the momentum for each priority carries forward and begins to realize the aspirations of the North Richmond community.

"...the work we do is so important, especially now, considering the racial climate of the country, the threat of gentrification, and the economic challenges that we face here in the Bay Area."

-Kapris James

In anticipation of immediate city and regional planning frameworks, the community aims to update and activate a North Richmond Specific Plan which will provide support to the Contra Costa County General Plan "Envision Contra Costa 2040."

Housing

The neighborhood can change for the better, and should not be gentrified. Access to affordable housing and pathways to homeownership provide the economic and social stability for community members to thrive. New housing development should bring about a mixed-income community and promote social cohesion, as well as encourage crime prevention. People who have already been displaced from public housing projects in North Richmond should have the right to return to new housing development. The redevelopment of Las Deltas can be a proof of concept for many of these housing strategies.

PRIORITIES

H.1 New housing development should give preference to proposals that indicate at least 50% of new housing units built on site will be designated as "affordable."

Housing Authority of the County of Contra Costa (HACCC) can give preference to housing development proposals that indicate at least 50% of new housing units built on-site shall be designated as "affordable". Of these below market rate units, a desirable mix would be:

- 1/3 low income (50-80% of Area Median Income)
- 1/3 very low income (30-50% AMI)
- 1/3 extremely low income (below 30% AMI)

Housing developers should understand that inclusionary zoning requirements cannot be avoided through payment of an in-lieu fee. Finally, HACCC can stipulate that the exterior design and placement of below market rate units should not be so distinct as to suggest the economic segregation of the community.

H.2 New housing developers should be transparent about their selection process for the placement of residents in their units and those who formerly lived in units should be contacted to return if they desire.

Following the transfer of the Las Deltas property, if the Housing Authority of the County of Contra Costa remains in control of the land, they can ensure that the new developer(s) follow HUD guidelines regarding the

right of return for displaced residents. If HACCC does not retain control of the land or improvements, they can only make suggestions to the future developer to give former tenants a preference for newly constructed units. To ensure this happens, community-based organizations such as Richmond Neighborhood Housing Services can look at data of the neighborhood, who is eligible, find out what % of those actually want to come back and their income level, or what % of those are already here.

H.3 The community should be involved in the selection of new housing development proposals and seats must be designated for at least 5 residents to participate in the selection.

HACCC can invite at least five North Richmond residents to participate in the selection of housing developer(s) for the site. HACCC can also accept the "North Richmond Resident Leadership Recommendations for Las Deltas Development". Include eight evaluation/scoring criteria in support of community-driven equitable development principles. The consideration of the community's preferences in alignment with the RFP minimizes the odds that development will be held up through the California Environmental Quality Act (CEQA) review process or by other means.

H.4 The construction of new housing should stimulate community benefits through local hire and corporate social responsibility programs.

HACCC can give preference to housing development proposals that intend to employ North Richmond residents or provide apprenticeship and training programs that create pathways to employment. The project can follow City of Richmond guidelines that 25% of all new hires for the contract or project shall be local residents. Other community benefits may include funding for school and education programs. HACCC can incentivize community benefits through a scoring system for the RFP that awards points for developers' commitment to providing such community benefits, following the example of the San Francisco Public Utilities Commission.

H.5 Abandoned properties and unused sites should be leveraged to create permanently affordable housing or other housing solutions.

HACCC can work with Richmond Community Foundation, through its Richmond Housing Renovation Program, to issue social impact bonds to investors such as Mechanics Bank to acquire the blighted properties and resell them to local residents who then take part in first time homebuyer programs such as SparkPoint. Contra Costa County Department of Conservation and Development or HACCC might issue the social impact bonds. Other potential sources of funds are Community Development Block Grants (CDBGs) and HOME funds. Also, HACCC can work with Richmond Community-

owned Development Enterprise to take a few of the Las Deltas "scattered sites" off the speculative market and create permanently affordable housing through community land trusts. Mithun can offer blueprints for the construction of affordable "tiny homes" and other creative housing designs that could be applied to the scattered sites or other vacant lots.

Youth & Education

A persistent challenge facing youth in North Richmond is the scarcity of places where they can experience joy and happiness. Youth need supportive environments that are conducive to their learning and education and promote message of social cohesion and belonging. Indoor and outdoor gathering spaces should provide for the civic, educational, social and recreational needs of the community.

PRIORITIES

Y.1 Youth in the community must have a voice in the pre-planning and planning stages for a future community and youth center.

Reach out to North Richmond youth to get their ideas because what adults want for them, may differ from what they envision for their youth center.

- Verde Elementary School (Principal Eric Acosta-Verprauskus) offered to create a student leadership group to be involved in renditions of community spaces. Staff should be hired with the input from youth.
- Just as the RYSE Center did, research and data-gathering led to obtaining the space. A listening campaign should be held to evaluate the community needs.

Y.2 Youth in the community should have a formal seat and voice in the public delivery of youth services in North Richmond including in the Department of Children and Youth and on the North Richmond Municipal Advisory Council.

The City of Richmond’s newly established Department of Children and Youth has jurisdiction in North Richmond. At least one youth and adult resident should apply to serve on the oversight committee for the new department. The Richmond City Council appoints residents to serve on the oversight board.

Y.3 Youth programming should include practical workforce development and employment opportunities to create a pathway to careers for young people.

The youth center programming should position youth to have employment opportunities to see them thrive financially and to create a pathway to careers.

- Information about employment opportunities in partnership with Contra Costa College, natural resource management.
- Green careers- Support existing and expanding programs that focus on leadership/training opportunities for youth that provide paths to generating community benefits. Potential partners include: Urban Tilth, The Watershed Project, Urban Habitat Fellows.
- STEM programming, Google, a coding academy.

Y.4 Walls should not be built in any future development or in North Richmond because they are polarizing and a symbol of division.

There is a desire and commitment to not build walls or large gates in North Richmond due to its strong history of marginalization.

- Assure that there is a MAC - Municipal Advisory Council or county policy for North Richmond around prohibiting the building of large walls that divide a community.

Community Safety

A proper analysis of community safety must acknowledge the history of structural racism led to the conditions of poverty and violence in North Richmond. This includes a history of redlining that condemned people of color to substandard housing, or prevented them from purchasing houses altogether.

PRIORITIES

S.1 Traffic safety needs to be analyzed and addressed.

People are concerned about the heavy flow of traffic on the Richmond Parkway, which links the 80 freeway to the 580 freeway. High peak commuter traffic and trucks often use the neighborhood as a pass through to the freeways. The Resident Leadership Team requested that an assessment of traffic flow and safety be completed by the County.

Policies such as Vision Zero & Complete Streets should be designed, implemented & enforced for North Richmond. Contra Costa County Public Works Dept could implement Complete Streets best practices, such as traffic-calming design principles. Department of Conservation and Development could implement Vision Zero (already county policy) to minimize traffic death and injuries in North Richmond. These programs could be the building blocks for a North Richmond Specific Plan.

S.2 Transportation should be designed with the primary goal of ensuring safe, equitable access for pedestrians, bicyclists, transit riders, and drivers.

- Restrict the most polluting vehicles to certain routes to minimize respiratory and other health impacts on the community.
- Encourage active transportation. Include lockable bike parking in new projects.

Business Opportunity

The primary barriers to business opportunity in North Richmond include the perception that the area is unsafe for business, or that residents are poor and cannot sustain economic activity. Diverse strategies should be used to attract and retain small, medium and large businesses.

22

Local enterprises can strategically fill significant needs/market gaps, such as a grocery store, community kitchen, laundromat, coffee shop, ATM/banking, or other neighborhood-serving business. The economy of North Richmond should offer diversified employment opportunities that promote upward social mobility, and programs that prepare residents to take advantage of these opportunities.

PRIORITIES

B.1 Cooperative development should be promoted to address significant market gaps and build community wealth.

Cooperation Richmond can provide support to any group of three or more residents who express interest in forming worker-owned and community-owned cooperatives. Because certain groups such as people experiencing re-entry may not enjoy access to traditional employment opportunities, residents should be encouraged to take advantage of cooperative business opportunities. Cooperative businesses that address significant market gaps - such as a grocery store, community kitchen, laundromat, coffee shop, bank/credit union - would be very likely to succeed in North Richmond. These businesses can also help ushering in a green sustainable economy.

B.2 Small business incubation should be promoted to address significant market gaps and help entrepreneurs transition to the formal economy.

North Richmond already has an entrepreneurial population, and some individuals may decide that a conventional small business model is more appropriate than the cooperative model. Contra Costa Small Business Development Center (CCSBDC) (Darlene Drapkin) can provide one-on-one counseling and workshops in English and Spanish to assist local entrepreneurs with obtaining the permits and licenses

they need to operate. As an affiliate of the Small Business Administration, CCSBDC can also help guarantee access to small business loans.

B.3 Large businesses operating in North Richmond, including those that may arrive later, should be actively engaged to provide an array of community benefits.

Contra Costa County Board of Supervisors maintains an inventory of large businesses operating in North Richmond (e.g. Overaa, Golden Bear Waste Transfer, Beck Electric, Republic Services). A resident-led initiative could start to engage with these businesses to secure community benefits that are potentially aligned with needs identified not only by the community but also by the businesses themselves. Community benefits agreements can be drafted in cases where a large business is considering moving operations into North Richmond. Also, refer to equitable development principles used at Point Molate by Richmond Community-owned Development Enterprise.

B.4 Workforce development programs should be promoted to prepare residents to take advantage of employment opportunities.

Catholic Charities of the East Bay, Reentry Success Center, and Rubicon Programs are nonprofit programs that help criminal justice system-impacted residents to remove barriers to employment. A permanent

brick-and-mortar presence in the community would help these nonprofit organizations to more effectively reach some North Richmond residents who may face psychological barriers to accessing services in Central Richmond. Other programs that can help residents acquire technical/digital skills: Stride Center has an Opportunity Partner Program for Businesses and could deliver workshops to bridge the digital divide. Richmond Community Foundation, through eQuip Richmond, has established partnerships that can enhance existing opportunities to build capacity, fill jobs with local hires, and improve conditions for local residents.

B.5 Financial literacy and asset-building programs should be promoted to help residents enhance their purchasing power.

The financial stability of residents has a real impact on the sustainability of local businesses. SparkPoint Contra Costa can offer trainings in financial literacy and asset-building to North Richmond residents and small business organizations. Richmond Neighborhood Housing Services and Mission Asset Fund can also supplement these services.

B.6 North Richmond business corridors, streets and gateways should be beautified in a way that celebrates community culture and local enterprise.

Place-based marketing should capitalize on the unique historical identity of North Richmond and instill civic

pride and sense of unity among residents. The Richmond Museum of History may assist with the installation of signage and detailing how historical buildings and place names reflect the diverse heritage of North Richmond. Beautifications plans for street corridors and gateways (e.g. "Welcome to North Richmond!") can be integrated into Contra Costa County Department of Public Works existing plans to renovate street corridors and potential source of funding. Richmond Main Street Initiative can help create and install banners along main street corridors and promote street festivals that celebrate community heritage and local enterprise. A historical society or boutique arts shop could also be opened in the community.

Integrated Strategies

Many of our strategies have co-benefits that fall under more than one priority area. These integrated strategies will bring about solutions that can leverage more funding, support and provide cohesive solutions to the challenges North Richmond currently faces.

PRIORITIES

I.1 New housing development should incorporate CPTED principles to contribute to the prevention of crime.

HOUSING / SAFETY

Crime Prevention Through Environmental Design (CPTED) is a proactive crime prevention strategy utilized by law enforcement agencies, planners, architects, security professionals and everyday citizens. These principles operate on the belief that a proper design and effective use of the built environment can lead to a reduction in the fear and incidence of crime, and an improvement of the quality of life.

Richmond Police Department can provide input to HACCC concerning the application of CPTED principles to new housing development, based on their experience with Richmond Village. HACCC can specify CPTED principles (natural surveillance, natural access control, territoriality, maintenance, and target hardening) in the RFP for Las Deltas, and housing developers should be informed of the desirability of CPTED principles when responding to the RFP.

The North Richmond RLT discussed ways to open up passageways between existing and new residential development and make the border more permeable.

I.2 First-time homebuyer programs should be provided throughout North Richmond, in order to create a community invested in their homes, which can reduce crime.

HOUSING / SAFETY

Property ownership, or the lack thereof, is a major contributing factor to safety. To increase community safety, residents need to own their homes. Homeownership transforms the history of the neighborhood from institutional racism to opportunity. It will be important to prepare current residents for homeownership by providing options to go from leasing to ownership. A coalition of organizations such as Community Housing Development Corporation, Richmond Neighborhood Housing Services, and SparkPoint can provide these services.

SparkPoint Contra Costa and Richmond Neighborhood Housing Services (RNHS) can prepare low-income residents, including users of Section 8 vouchers, to take steps toward homeownership. RNHS offers homeownership seminars and financial literacy workshops that dispel myths about homeownership, and may look into rent-to-own programs. Resident leaders could help coordinate program outreach to the large proportion (63%) of the North Richmond community who are currently renters. Government programs such as the Low-Income Housing Tax Credits should be promoted.

I.3 Public spaces and parks should be provided throughout North Richmond, and should host events that promote health and create a sense of belonging and social cohesion.

YOUTH & EDUCATION / SAFETY

Existing open spaces such as Shields-Reid Park, Verde Elementary School, Lucky A's field should be enhanced to provide the fullest civic, educational, social and recreational benefits for the community; some spaces can be made more accessible and youth-friendly. Additional outdoor spaces for youth could serve as gathering spaces for arts and outdoor programs that promote unity.

- Secure a joint-use agreement between the City of Richmond and West Contra Costa Unified School District so that students can use the Lucky A's sports field without requiring a field trip slip. This could be supplemented by programming.
- Have an outdoor stage for performance/ community theater located at Urban Tilth Garden.
- Identify and discuss additional sites and program to enhance opportunities for youth to experience nature. Some opportunities include Wildcat Creek trails and parcels within the existing neighborhood fabric. Contra Costa Clean Water Program and East Bay Regional Parks District as potential partners.

- Draw connections between individual sites and the larger watershed whenever possible. The built environment enhances appreciation for the natural environment, including trails, creeks and watersheds connected to San Pablo Bay. Connect individual nodes through continuous active transportation network in order to be accessible by all. Identify potential linkages, such as Wildcat Creek Trail project, and gaps in continuity. Potential implementing partners include Contra Costa Clean Water Program, East Bay Regional Parks District, Trails for Richmond Action Committee, Association of Bay Area Governments, Metropolitan Transit Commission, Bay Conservation & Development Commission, and others.

Outdoor spaces should be inviting and host events that create a sense of belonging and social cohesion. Community spaces could promote wellness for youth and adults. Sporting events can create connections between all ages and ethnicities: baseball, soccer, basketball, and other city sports, that promote participation across generations, ethnicities and throughout the seasons.

The Lucky A's Field is underutilized. There was a recognition that youth often bring families together and is the first step toward unity. It has the potential to bring diverse sets of residents together that care about their neighborhood. Residents have a commitment to their children in common and creating opportunities for youth centered activities will increase the broader community unity. Potential partners are the City of Richmond Community Services Department.

Integrated Strategies

continued

I.4 The neighborhood should be made more walkable and accessible by public transit, promoting health, traffic safety and providing youth easy access to transit for enriching opportunities outside North Richmond.

YOUTH & EDUCATION / SAFETY / BUSINESS

The neighborhood should be made more accessible by public transit and alternatives to single occupant vehicles. West Contra Costa Transportation Advisory Committee has a Transportation Demand Management Program that encourages “green commutes” including carpooling, vanpooling, telecommuting, biking, public transit and walking. BART and AC Transit could be engaged to improve public transit affordability and accessibility for residents, including discounted pricing, improved bus stop shelters, and a shuttle to improve first-mile/last-mile connections to existing routes.

Youth should have easy access to transit for enriching opportunities outside North Richmond. Ensure that North Richmond residents have access to reliable transportation and that there are additional discounts to residents of the area. There are noticeable concerns about transportation not coming on time and a lack of bus shelters with timers.

- BART, AC Transit, West Contra Costa Transportation Advisory Committee as potential implementing partner for added fare reduction and to assess placement of bus shelters.

Traffic safety needs to be analyzed and addressed. Residents are concerned about the heavy flow of traffic on the Richmond Parkway and peak commuter traffic and trucks that often use the neighborhood as a pass through to the freeways. It is requested that an assessment of traffic flow and safety be completed by the County. Policies such as Vision Zero & Complete Streets should be designed, implemented & enforced for North Richmond: Contra Costa County Public Works Dept could implement Complete Streets best practices, such as traffic-calming design principles. Department of Conservation and Development could implement Vision Zero (already county policy) to minimize traffic death and injuries in North Richmond. These programs could be the building blocks for a North Richmond Specific Plan.

I.5 A community/youth center should be established for the effective delivery of youth programs, and the community center could provide space for programs that the whole community can access.

YOUTH & EDUCATION / SAFETY / BUSINESS

A community center should be established for the effective delivery of youth programs. A large space could be designated on the site of the Las Deltas redevelopment for the construction of a multi-use facility for youth and families.

- RYSE Center and the East Bay Center for the Performing Arts could be invited to deliver their youth programming directly in North Richmond.
- It will be important to hire staff and the right people who can understand the historical trauma of the community.
- A permanent brick-and-mortar presence in the community would help these nonprofit organizations to more effectively reach some North Richmond youth who may face psychological barriers to accessing these services in Central or South Richmond.

New development projects should provide for indoor community spaces with programs that the whole community can access. There should be a community center that provides space for nonprofit programming targeting adults and young adults. Inclusive community spaces will promote community wellness and serve as the epicenter for community leadership. Having a space for residents who care about their neighborhood to gather and work on neighborhood projects or policy advocacy is a long-term need for this neighborhood. Other uses of the Community Center space may include art, music, movies and community plays.

The City of Richmond Community Services Department, the Department of Children and Youth, YES Nature to Neighborhoods, and Richmond Police Activities League are potential partners, as well as local nonprofits serving the North Richmond community. It was recommended that the community be surveyed on what type of services would appeal to young adults and families in the neighborhood (i.e., soccer programs like “More than a Game”, multicultural events and activities).

Integrated Strategies continued

(I.5 continued)

Small business incubation should be promoted to address significant market gaps and help entrepreneurs transition to the formal economy. North Richmond already has an entrepreneurial population, and some individuals may decide that a conventional small business model is more appropriate than the cooperative model. Contra Costa Small Business Development Center (CCSBDC) can provide one-on-one counseling and workshops in English and Spanish to assist local entrepreneurs with obtaining the permits and licenses they need to operate. As an affiliate of the Small Business Administration, CCSBDC can also help guarantee access to small business loans.

Financial literacy and asset-building programs should be promoted to help residents enhance their purchasing power. The financial stability of residents has a real impact on the sustainability of local businesses. SparkPoint Contra Costa can offer trainings in financial literacy and asset-building to North Richmond residents and small business organizations. Richmond Neighborhood Housing Services and Mission Asset Fund can also supplement these services.

I.6 Workforce development programs should be promoted to prepare adult and youth residents for employment opportunities.

YOUTH & EDUCATION / BUSINESS

Workforce development programs should be promoted to prepare residents to take advantage of employment opportunities. Catholic Charities and Rubicon are nonprofit programs that help criminal justice system-impacted residents to remove barriers to employment. A permanent brick-and-mortar presence in the community would help these nonprofit organizations to more effectively reach some North Richmond residents who may face psychological barriers to accessing services in Central Richmond.

Other programs that can help residents acquire technical/digital skills: Stride Center has an Opportunity Partner Program for Businesses and could deliver workshops to bridge the digital divide. Also, Richmond Community Foundation, through eQuip Richmond, have established partnerships, including with Chevron, that can enhance existing opportunities to build capacity, fill jobs with local hires, and improve conditions for local residents.

Youth programming should include practical workforce development and employment opportunities. The youth center programming should position youth to have employment opportunities to see them thrive financially and to create a pathway to careers.

- Information about employment opportunities in partnership with Contra Costa College, natural resource management.
- Green careers- Support existing and expanding programs that focus on leadership/training opportunities for youth that provide paths to generating community benefits. Potential partners include: Urban Tilth, The Watershed Project, Urban Habitat Fellows
- STEM programming, Google, a coding academy.

I.7 Seek green infrastructure solutions through ongoing Watershed Projects happening in North Richmond including environmental issues such as flooding and environmental pollution.

HOUSING / YOUTH & EDUCATION / SAFETY

New housing proposals should incorporate rigorous green building measures and community consultation on environmental issues to be incorporated into the development and design process.

- Establish minimum performance standard for green building certification (such as Gold or Platinum certification through Green Point Rated or LEED) HACCC/Developer team as implementing partner
- Incorporate watershed-scale strategies as standard process for new housing proposals, such as: protect and enhance the community urban tree canopy with a focus on air quality. Preserve existing significant trees and leverage their impact with planted buffers. HACCC/Developer team as implementing partner.
- Incorporate vegetated stormwater solutions with

an eye towards limiting current and future flood events. Options to consider could include bioswales, detention or retention ponds and cisterns for irrigation re-use to support the tree canopy and planted buffers. HACCC/Developer team as implementing partner

- Work with GreenTRIP staff and developers to launch the GreenTRIP Certification Program in North Richmond HACCC/Developer team as implementing partner.

I.8 A North Richmond Specific Plan is a vital planning tool to drive future development in North Richmond, and will integrate the Quality of Life Plan to honor the community's goals.

HOUSING / YOUTH EDUCATION / SAFETY / BUSINESS

A Specific Plan is a local government tool that supports County General Plans. The County is currently updating its General Plan to produce "Envision Contra Costa 2040." The North Richmond Specific Plan could draw from these existing resources:

- The County's 2011 North Richmond Specific Plan. It only includes the underdeveloped land north of Wildcat Creek, so a new plan would need to expand to the southern area that includes Las Deltas.
- A 2018 "Priority Resilience Plan" created by the Mithun Home Team as part of the Bay Area Resilient by Design Challenge. This plan addresses housing affordability, protections against gentrification, and adaptation to climate change for existing and returning residents.
- The 2019 Quality of Life Plan launched by the North Richmond community.



Our Action Plan

Our community is driven and we want to ensure that this Quality of Life Plan can be used as an effective tool to continue organizing and advocacy with regards to all development in North Richmond.

To achieve our vision, the community has set four strategy areas: Housing, Community Safety, Youth & Education and Business Opportunity.

North Richmond is poised for development given its location along the San Francisco Bay, its proximity to major highways, bridges and a new ferry station, the underdeveloped land that borders the neighborhood, and the redevelopment of Las Deltas housing project. North Richmond is a resilient community that has fostered a thriving business community and served as a hub for cultural activity in the East Bay despite the hardships of redlining. Over the years, the demographics have shifted, but the resilience of our residents has endured. The Quality of Life planning process provided residents and stakeholders the opportunity to detail how the community can be the driving force to respect and honor the history of this place as well as curb displacement and gentrification.

This plan outlines 9 early action projects that will begin after the presentation of this plan in March 2019 and 26 priorities and strategies that will follow in the next 5-10 years.

Residents Continue to Take the Lead on Policy Advocacy

Policy advocacy is a solution-based approach where residents advocate to create sustainable and enduring change by working together with government officials to influence policy at the decision-making level. Using this method, the community is able to analyze the root causes of an issue and develop solutions.

To be truly effective, policy advocacy must engage a wide range of community members. This involves learning about the inner workings and operations of government agencies in order to understand how an idea becomes policy. In this case, the North Richmond RLT created partnerships with key stakeholders in the community who have expertise in the areas they seek solutions.

The North Richmond RLT has organized to seek changes to official policy and to work on projects that improve the community. Each thematic area in this Quality of Life PI represents a key element of successful policy development. Ongoing implementation of the plan's contents will be the most critical element to the success of the North Richmond RLT's advocacy. Over the longterm, residents will use the Quality of Life Plan to advocate in the areas where they seek solutions.

Resident advocacy has a long history in North Richmond; it is not unique to this moment. However, the community is at a pivotal point.

There are regional opportunities to preserve affordable housing, contribute to the Contra Costa General Plan, and ensure that Opportunity Zones benefits North Richmond Residents. Most importantly, this is a chance to develop principles and policies that support community members and their desire for a current North Richmond Specific Plan (there is none currently in use). North Richmond residents and the North Richmond RLT will continue to take the lead in policy advocacy.

Early Action Projects

HOUSING

Objective: Ensure that new housing development gives preference to proposals that indicate at least 50% of new housing units built on site will be designated as "affordable"

Strategy: Continue advocacy to HACCC and other development institutions to include 30-50% of new housing is affordable with 1/3 assigned to LI, VLI & ELI as an RFP requirement (needs review from HR team)
Kick-off activity

Kick-off activity: Gather neighborhood data, for example, who is eligible for affordable housing? Which residents that have left want to come back?

HOUSING

Objective: Prepare as many current renters as possible in North Richmond for home ownership and ensure displaced residents have a clear understanding of their right to return.

Strategy: Design an education and outreach strategy to reach the 63% of residents currently renting in North Richmond and those that have been displaced.

Kick-off activity: The North Richmond RLT meets with key local and regional experts to create a framework for the outreach project to actively engage residents in wealth building and home ownership programs.

YOUTH & EDUCATION

Objective: Create unity in order to eliminate the polarizing neighborhood climate, and to give youth a place to socialize and be supported..

Strategy: Establish a community and youth center run by residents and the youth to serve young people

Kick-off activity: Create a survey for students at Verde Elementary and North Richmond High School Students in order to receive feedback on activities and resources that the youth would like to see in a youth/ community center.

SAFETY

Objective: Ensure that policies such as VisionZero and Complete Streets are designed, implemented, and enforced for North Richmond, including an updated and activated North Richmond specific plan. Street improvements should also leverage current county green infrastructure planning for sustainable streets and watershed greening projects that will enhance natural resources.

Strategy: Residents write a proposal about traffic improvements to present to the County, including identifying at least five traffic improvements. For example, stop signs, lights, crosswalks, no through traffic signs, slow down speeding, or LED lights.

Kick-off activity: Hold a Traffic Safety Community Forum at Shields-Reid Park. Continue researching and gain a better understanding of policies and funding related to traffic safety improvements.

BUSINESS

Objective: To engage large businesses and developers for the ongoing investment in North Richmond's community

Strategy: Develop and secure greater participation from North Richmond-based businesses through Community Benefits Agreements and relationship-management

Kick-off activity: A resident-led group will to develop a targeted outreach campaign. These are experienced leaders from the community who can make the business case for North Richmond.

BUSINESS

Objective: Improve the perception of North Richmond through re-branding and place-based marketing

Strategy: Beautification of North Richmond to develop a sense of pride and place

Kick-off activity: The community will identify gateways for the installation of public art projects (e.g. "Welcome to North Richmond"). The Richmond Museum of History, in partnership with North Richmond MAC, intends to host local history workshops at the Shields-Reid Community Center or North Richmond Senior Center, which will include a community brainstorming session to identify a list of important historical places.

"I believe that coming together as a community, we can get things done!"

- Berta Álvarez

ABBREVIATIONS

AC Transit: Alameda-Contra Costa Transit District
 ACCE: Alliance of Californians for Community Empowerment
 BART: Bay Area Rapid Transit
 CDE: Community-owned Development Enterprise
 CBO: Community Based Organization
 CCC: Contra Costa County (or County of Contra Costa)
 HACCC: Housing Authority of the County of Contra Costa
 MAC: Municipal Advisory Council
 RCF: Richmond Community Fund
 RNHS: Richmond Neighborhood Housing Services
 RYSE: RYSE Center in Richmond (Rising Youth for Social Equity)
 SFPUC: San Francisco Public Utilities Commission
 WCCTAC: West Contra Costa Transportation Advisory Committee

ACTION ITEMS

HOUSING

- H.1 New housing development should give preference to proposals that indicate at least 50% of new housing units built on site will be designated as "affordable"
- H.2 New housing developers should be transparent about their selection process for the placement of residents in their units and those who formerly lived in units should be contacted to return if they desire
- H.3 The community should be involved in the selection of new housing development proposal(s) and seats must be designated for at least 5 residents to participate in the selection process.
- H.4 The construction of new housing must stimulate community benefits through local hire and corporate social responsibility programs.
- H.5 Abandoned properties and unused sites should be leveraged to create permanently affordable housing or other housing solutions, including the possibility of land trusts and affordable tiny homes

YOUTH & EDUCATION

- Y.1 Youth in the community must have a voice in the pre-planning and planning stages for a future community and youth center.
- Y.2 Youth in the community should have a formal seat and voice in the public delivery of youth services in North Richmond including in the Department of Children and Youth and on the North Richmond Municipal Advisory Council
- Y.3 Youth programming should include practical workforce development and employment opportunities to create a pathway to careers for young people.
- Y.4 Walls should not be built in any future development or in North Richmond because they are polarizing and a symbol of division.

COMMUNITY SAFETY

- S.1 Traffic safety needs to be analyzed and addressed.
- S.2 Transportation should be designed with the primary goal of ensuring safe, equitable access for pedestrians, bicyclists, transit riders, and drivers.

BUSINESS OPPORTUNITY

- B.1 Cooperative development should be promoted to address significant market gaps and build community wealth.
- B.2 Small business incubation should be promoted to address significant market gaps and help entrepreneurs transition to the formal economy.
- B.3 Large businesses operating in North Richmond, including those that may arrive later, should be actively engaged to provide an array of community benefits.
- B.4 Workforce development programs should be promoted to prepare residents to take advantage of employment opportunities.
- B.5 Financial literacy and asset-building programs should be promoted to help residents enhance their purchasing power.
- B.6 North Richmond business corridors, streets and gateways should be beautified in a way that celebrates community culture and local enterprise.

INTEGRATED

- I.1 New housing development should incorporate CPTED principles to contribute to the prevention of crime..
- I.2 First-time homebuyer programs should be provided throughout North Richmond, in order to create a community invested in their homes, which can reduce crime.
- I.3 Public spaces and parks should be provided throughout North Richmond, and should host events that promote health and create a sense of belonging and social cohesion.
- I.4 The neighborhood should be made more walkable and accessible by public transit, promoting health, traffic safety and providing youth easy access to transit for enriching opportunities outside North Richmond.
- I.5 A community/youth center should be established for the effective delivery of youth programs, and the community center could provide space for programs that the whole community can access.
- I.6 Workforce development programs should be promoted to prepare adult and youth residents for employment opportunities.
- I.7 Seek green infrastructure solutions through ongoing Watershed Projects happening in North Richmond including environmental issues such as flooding and environmental pollution.
- I.8 A North Richmond Specific Plan is a vital planning tool to drive future development in North Richmond, and will integrate the Quality of Plan to honor community goals.

TIME FRAME	LEADER	IMPLEMENTATION PARTNERS
• • •	North Richmond RLT, HACCC, CCC Dep't of Conservation and Development	Housing Developers
•	North Richmond RLT, HACCC, CCC Dep't of Conservation and Development	Richmond Neighborhood Housing Services
• •	North Richmond RLT, HACCC	Housing Developers, CCC Dep't of Conservation and Development
•	North Richmond RLT, HACCC	Housing Developers, CCC Dep't of Conservation and Development
• •	CCC District 1 Supervisor's Office, North Richmond RLT, HACCC	Mithun, Richmond Community Foundation
•	Verde Elementary School	North Richmond RLT, RYSE, East Bay Center for Performing Arts
•	North Richmond Network	RYSE Center, Verde Elementary School, North Richmond MAC
• • •	Workforce Development Board of Contra Costa County	Contra Costa Employment and Human Services, Contra Costa Youth Council
•	Envision Contra Costa 2040 (Contra Costa General Plan updates)	North Richmond RLT, North Richmond MAC
•	North Richmond RLT, Urban Habitat	CCC Dep't of Conservation and Development
•	North Richmond RLT, Urban Habitat	CCC Dep't of Conservation and Development, CCC Public Works, Contra Costa Public Health
•	Cooperation Richmond	Cooperation Richmond
•	Contra Costa Small Business Development Center	Contra Costa Small Business Development Center
•	North Richmond RLT, Urban Tilth	CCC Board of Supervisors, Richmond CDE, SFPUC; ex/new businesses in North Richmond
•	North Richmond RLT	Catholic Charities, Rubicon, Stride Center, RCF
• •	North Richmond RLT	SparkPoint Contra Costa, Richmond Neighborhood Housing Services, Mission Asset Fund
•	Richmond Main Street Initiative	Richmond Museum of History, CCC Public Works, Richmond Main Street Initiative
•	Richmond Police Department	HACCC
•	North Richmond RLT, Healthy Richmond	RNHS, Community Housing Development Corporation, SparkPoint
• • •	North Richmond RLT, Healthy Richmond	City of Richmond Community Services, Shields Reid Neighborhood Center, Local CBOs, North Richmond MAC
•	CCC Dep't of Conservation and Development	AC Transit, WCCTAC, BART
•	North Richmond RLT, Healthy Richmond	Refer to Y.1 and Urban Habitat, ACCE, Safe Return Project
• •	North Richmond RLT, City of Richmond, Contra Costa County	Refer to Y.3 and B.4
• • •	Watershed Project, Mithun	Watershed Project, CCC Public Works (Watershed Program), City and County workforce development programs
•	North Richmond RLT, CCC District 1 Supervisor's Office	CCC Dep't of Conservation and Development



OPPORTUNITIES



- 1 A LOCAL GROCERY STORE (COOPERATIVE)
- 2 A YOUTH CENTER WITH LOCAL PROGRAMMING (I.E., MENTORSHIP) FOR YOUTH AND YOUNG ADULTS WITH OUTDOOR SPACE FOR RECREATION
- 3 GREEN SPACES INTERSPERSED BETWEEN HOUSING THAT IS AVAILABLE FOR COMMUNITY USE AND PROGRAMMING. TRANSFORMATION OF EMPTY LOTS INTO AN "URBAN FOREST"
- 4 SAFE GREEN STREETS: WALKABLE, CLEAN STREETS WITH SIGNALIZED INTERSECTIONS, A BIKE LANE, COLORFUL SIDEWALKS, TREES AND LIGHTING
- 5 A TRANSIT HUB: SHUTTLE SERVICE TO BART, THE FERRY, AND MAJOR HUBS FOR EMPLOYMENT
- 6 A COMMUNITY CENTER LOCATED NEAR NEW HOUSING DEVELOPMENT FEATURING AMENITIES THAT COULD INCLUDE A COMMUNITY POOL, CULTURAL PROGRAMMING SUCH AS MOVIE NIGHTS AND LIVE MUSIC, AND SPACE FOR CIVIC ASSEMBLY. THERE COULD ALSO BE A SMALL PARK AND PICNIC AREA.
- 7 AN ACTIVE AND WALKABLE BUSINESS DISTRICT THAT MIGHT INCLUDE A LAUNDROMAT, LIBRARY, MOVIE/PLAY HOUSE, BARBER SHOP, COFFEE SHOP, AND A COMMUNITY KITCHEN COOPERATIVE
- 8 A DAY CARE CENTER WITH PROGRAMMING FOCUSED ON ADVANCED CHILDREN'S LITERACY
- 9 A GYM FOR RESIDENTS OF ALL AGES

Acknowledgments

Thank you!

We wish to acknowledge the contributions that North Richmond residents and community stakeholders have made toward the North Richmond Quality of Life Plan. Many people participated in the North Richmond Quality of Life planning sessions and provided information that directly shaped the Quality of Life Plan, while others provided material and logistical support for a successful planning process and rollout event. Many individuals in turn represented organizations that provided research knowledge, partnerships or sponsorships to bring about a successful implementation of the North Richmond Quality of Life Plan.

In particular, we recognize the following:

Individuals

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Organizations

Bay Area Rapid Transit, California Endowment, California Highway Patrol, California's 11th Congressional District (Office of Representative Mark DeSaulnier), California's 15th State Assembly District (Office of Assemblymember Buffy Wicks), City of Richmond Community Services Department, City of Richmond Department of Children and Youth, Community Housing Development Corporation, Cooperation Richmond**, Contra Costa County Board of Supervisors District 1 (Office of Supervisor John Gioia), Contra Costa County Department of Conservation and Development**, Contra Costa County Department of Public Works**, Contra Costa Small Business Development Center, Contra Costa County Office of the Sheriff, East Bay Center for the Performing Arts, East Bay Asian Local Development

* Leadership Circle (includes North Richmond RLT)

Corporation, Eden Housing, Healthy Richmond, Housing Authority of the County of Contra Costa**, Imprenta Communications Group, Kodama Diseno Architects, Local Initiatives Support Corporation, Midpen Housing, Mithun, North Richmond Municipal Advisory Council, North Richmond Network, North Richmond Resident Leadership Team, Rich City Rides, Resources for Community Development, Richmond Community-owned Development Enterprise**, Richmond Community Foundation, Richmond Main Street Initiative, Richmond Museum of History, Richmond Neighborhood Housing Services, Richmond Police Department**, RYSE Center, Safe Return Project, Satellite Affordable Housing Associates, San Francisco Public Utilities Commission**, Social Progress Inc., SparkPoint Contra Costa, UC Berkeley Center for Cities + Schools, UC Berkeley Department of City and Regional Planning, Urban Habitat, Urban Tilth, Verde Elementary School, Watershed Project, West Contra Costa Unified School District

Community Engagement and Quality of Life process conceptualization and technical support provided by: James F. Capraro, Principal, CapraroConsulting.com

And you...

If you are a resident or community stakeholder who was not mentioned above, but who wishes to contribute to this collaborative effort, we invite you to partner with us!

Please excuse all mistakes of omission. The North Richmond SWOT report published in October 2018 lists additional individuals and organizations who were involved in the community visioning. If your organization has been cited here, you may already be seen as a potential implementer or sponsor to the Quality of Life Plan.

** Provided special presentations at the public planning sessions or research action meetings to inform the North Richmond Quality of Life Plan

About Our Supporting Partners

About Healthy Richmond



Healthy Richmond is dedicated to creating meaningful and lasting improvements in the health of children and youth in Richmond.

The Healthy Richmond Hub has been hosted by Bay Area Local Initiatives Support Corporation and is part of The California Endowment's Building Healthy Communities Initiative, a ten-year, comprehensive community initiative that is creating a revolution in the way Californians think about and support health in their communities.

When Healthy Richmond was launched in 2010, the community envisioned a Richmond that is economically viable and sustainable, physically designed to promote healthy eating and active living, culturally vibrant, and connected across generations. Social support and vital services flow through a seamless network of neighborhood institutions and agencies. Community members are engaged and see their priorities reflected in all aspects of the community – environment, governance, schools, cultural life, and business development.

The Healthy Richmond Hub is a collaborative that encompasses a diverse group of partners that bring to the table different skill sets, areas of expertise,

networks, and a shared commitment to improve the health and well-being of all of Richmond's residents. Healthy Richmond staff engage, convene, and coordinate community based organizations and resident leaders in the initiative to collectively work towards increased health equity and racial justice in the community.

The support for the Quality of Life planning process in North Richmond is embedded in the Hub's Economic Revitalization priority area. This priority area focuses on supporting resident leaders and organizations to provide input on the development and implementation of policies that result in comprehensive affordable housing strategies and thriving and sustainable commercial corridors. Healthy Richmond will continue to support the Resident Leadership Team and will continue to connect community based organizations, school district officials, and governmental representatives to support project implementation.

About Bay Area LISC



Bay Area LISC is dedicated to helping community residents transform disinvested Bay Area neighborhoods into healthy and sustainable communities of choice and opportunity - good places to work, do business, and raise children.

About Richmond Neighborhood Housing Services



RNHS was founded in 1981 by a dedicated group of low-income Richmond residents, RNHS has worked to reverse the adverse effects of systemic segregation, redlining, disinvestment and blight. Throughout its history, RNHS has served over 10,000 families across the East Bay.

Richmond Neighborhood Housing Services, Inc. (RNHS) mission is to promote investment in and revitalization of under-resourced communities in the East Bay. Through the combined efforts of local residents and businesses, financial institutions and government, RNHS works to overcome homelessness and the displacement of low-income residents, and provide the tools for low-income households and people of color to achieve financial equity. Our work is rooted in the belief that the affordable housing conversation does not stop at renting: we promote and support community members to explore the feasibility of homeownership. This work was highlighted as it supported and lead the efforts of the North Richmond Quality of Life Plan- providing local residents the opportunity to lead, and develop a community plan to benefit their community.

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Collaborative Design Phase Final Report

North Richmond: A Priority Resilience Area

The Home Team

MITHŪN

RESILIENT
BY
DESIGN



The North Richmond Community Advisory Board and the Mithun Home Team celebrate project creations that build the community capacity to adapt to climate change by linking local health and wealth building to infrastructure investments.

MITHUN.

Seattle

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1201 Alaskan Way #200
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San Francisco

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Contents

Executive Summary	5
Research & Analysis Overview	19
Design Roadmap & Next Steps	31
Local & Regional Stakeholder Support	33
Implementation Strategy	34
Thrive	36
Filter	50
Grow	60
Relate	70
Green Benefits District	82
Prototypes	86
Finance Plan	92
Governance and Regulatory Challenges and Opportunities	99
Appendices	104

MITHUN



RESILIENT DESIGN INSTITUTE



Executive Summary

Executive Summary

ouR-HOME emerges from the community's ideas for building health, wealth and home ownership for more than 5,000 North Richmond residents—turning investments in sea level rise adaptations and aging infrastructure into opportunities for all.

The ouR-HOME sea level rise response projects are linked to the health and financial well-being of residents that have been traditionally shut out of opportunities to build family wealth and stability—restoring opportunity while restoring ecosystems. As sea level rises in North Richmond, the pump and outfall that keeps some homes in a topographic bowl dry will be threatened. The wastewater facility serving west Contra Costa County, marsh habitat and a major vehicular arterial, Richmond Parkway, are also at risk.

Proposed health and wealth strategies will provide individuals with the financial stability to make choices before and/or after climate change impacts. This social stability is key driver of resilience. Given that the National Institute for Building Sciences indicates that for every \$1 spent in mitigating hazards, \$6 is saved post-disaster, proactive planning for sea level rise will increase the effectiveness of the Bay Area's funding capacity over time.

Many strategies that seem unrelated to sea level rise are truly central to wise investments. For example, small lot housing, a community land trust, social impact bonds and community infrastructure combine to lower

the cost of entry to home ownership, strengthening the local economy with wealth building opportunities. Strategies that reduce pollution while providing sea level rise protection include green infrastructure proposals to bring the 'marsh to Main Street' with a horizontal levee and wetlands restoration, a plan to plant 20,000 trees to filter air and water, a pilot for decentralized wastewater that creates additional reclaimed water for local use, and an overpass to the Richmond Parkway that closes gaps in trail connections and provides access to the Bay. Finally, innovative methods are being explored to fund necessary investments in an equitable manner, including social impact bonds to fund new and renovated housing as a strategy to stabilize housing costs so the local community is not adversely impacted by development, mitigation funds to address historic inequities and health impacts that have already occurred, and a green benefits district for community-wide green infrastructure improvements funded by new commercial development projects. Each of these strategies will also increase economic opportunity, and support local job and career programs—benefiting the people in North Richmond and contributing to resilience.

NORTH RICHMOND HAS ENDURED.

**SYSTEMIC RACISM
CHRONIC FLOODING
INDUSTRIAL POLLUTION
POVERTY**

NORTH RICHMOND ENDURES.

"THE HOUNDS OF CONSCIENCE WAKE ME. THE LACK OF PEACE IN NORTH RICHMOND... HOUNDS ME. DO SOMETHING ABOUT IT... I CAN CHANGE THINGS. AND YOU CAN TOO."

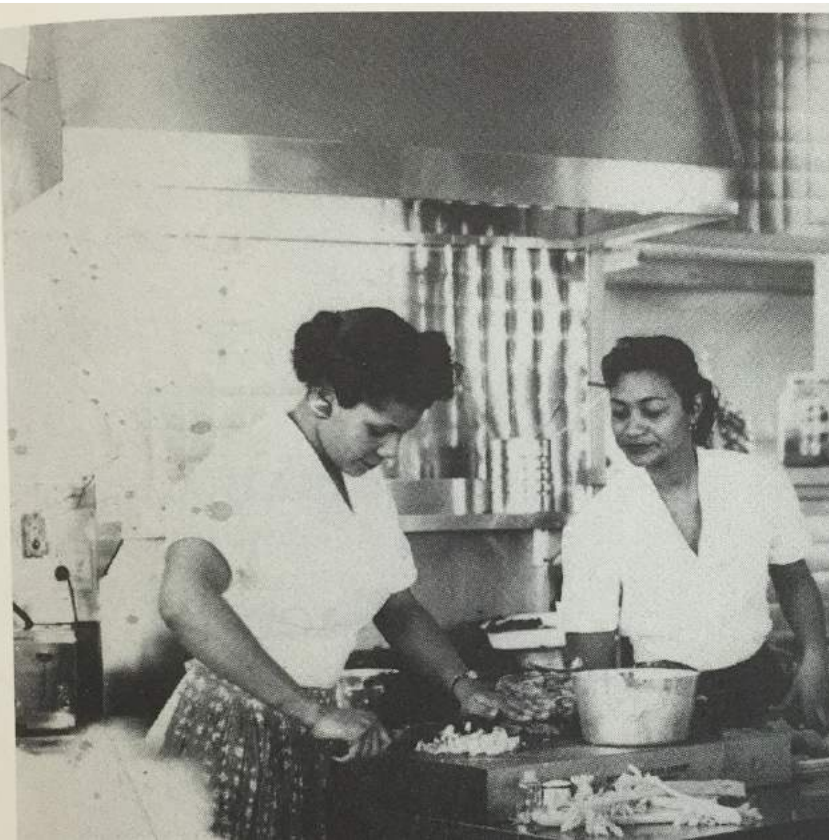
—Fred Jackson

Link to ouR-HOME video:

https://www.youtube.com/watch?v=YHw80_4fBg

Link to Resilient by Design North Richmond page:

<http://www.resilientbayarea.org/north-richmond/>



North Richmond is Resourceful, Resilient, Restorative

The area of unincorporated west Contra Costa County known as North Richmond was a place of tremendous ecological diversity when Ohlone tribes first arrived there in the 6th century. The Bay coastline and marshlands of the Wildcat and San Pablo creek deltas provided critical resources for initial human settlers. The low-lying area with fertile soils provided good agricultural opportunities as human settlement increased.

In the years following the establishment of the adjacent Chevron Richmond Refinery in 1901 and the World War II ship-building effort, North Richmond became a place of racial inequity. African Americans arrived in the Bay Area from across the country during the WWII labor surge and were forced to settle in the low-lying and flood-prone topographic bowl through de facto segregation. Cut off physically from adjacent resources by railroads and other infrastructure, community members also endured a lack of public services and long distance travel to their seat of governmental representation, more than 20 miles away by car in Martinez.

This community that shares a fence line with the largest polluter in the state of California and is surrounded by industrial, rail and arterial barriers, derives strength from a long history of cultural, environmental and social justice issues. Today, the demographics of North Richmond's 5,000 community members is changing, as Hispanic Americans find a home in the neighborhood. The spirit of advocacy and community organization continues to thrive, as evidenced through the work of neighborhood groups such as Urban Tilth, the Verde School, the Watershed Project and other organizations.

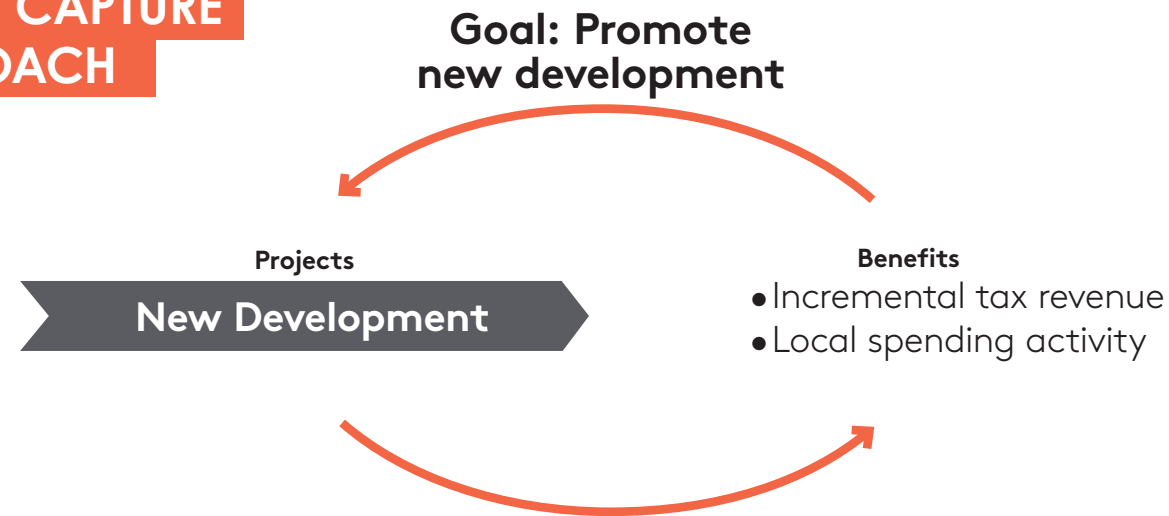
"...we get to be a group of people that come together and strategically plan things so that we won't get hit hard in the end. And that we will have a future to look forward to...."

—Princess Robinson, Urban Tilth Community Engagement Coordinator

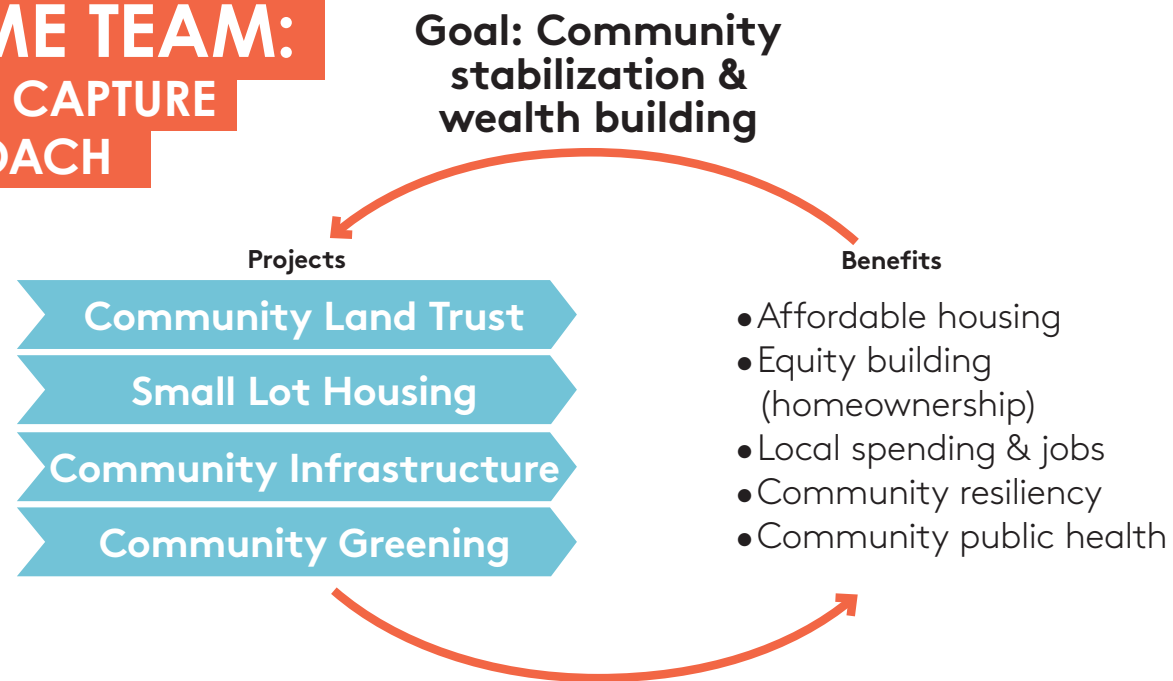
AREA OF INFLUENCE MAP NORTH RICHMOND PRIORITY RESILIENCE AREA



**TRADITIONAL:
VALUE CAPTURE
APPROACH**



**HOME TEAM:
VALUE CAPTURE
APPROACH**



Adaptation Capacity Based on Health and Wealth Building

Equity in everyone having capacity to adapt is the goal of linking sea level rise design strategies to health and wealth building in communities. Housing in North Richmond is a challenge with widespread vacancy, a loss of 288 units of Las Deltas federal public housing that is being decommissioned, and a lack of access to capital to renovate or develop. And yet, like the rest of the Bay Area, rental costs are increasing and driving displacement. In the specific conditions of North Richmond, traditional development is not available to drive this link. Although the community just broke ground on 42 units of housing in the center of the neighborhood and the nearby Hilltop neighborhood is seeing redevelopment, funding for affordable housing is scarce and market rate solutions will only drive displacement. Displacement is an outcome that compounds climate impacts as residents are forced to drive even longer distances to work, and is an injustice as valuable social bonds are broken.

Building on the North Richmond Shoreline Vision Plan, deep work and local expertise in the community, a suite of projects have emerged. Advanced by the North Richmond Community Advisory Board and the Mithun Home Team, the projects use proven strategies that respond to the particular place and can have a profound collective impact in the community. These projects are called Thrive, Filter, Flow and Grow, and Relate, together with a new policy for a Green Benefit District. Combined, these projects represent ouR-HOME.

ouR-HOME: Thrive—Home Ownership For Longtime Residents

Adapting to change requires having the agency to respond. Health and wealth building is a foundation that supports the ability of people to make choices about how they respond to climate change impacts as they arise. Joining the path to wealth building through generations is fundamental. To lower barriers to home ownership, the Thrive proposal builds on the history of do-it-yourself resourcefulness of North Richmond residents and proposes subdivision of vacant lots to create small lot housing in keeping with the scale of existing homes.

Larger lot housing redevelopments at Las Deltas and Grove and Garamita can help stabilize affordable home ownership through exploration of a community land trust. Other affordable cost-of-living strategies for energy, water and wastewater create an opportunity for North Richmond to be a model community in the Bay Area—where community members can grow health, wealth and make choices about their future.

A big step has been taken toward reinforcing the shift from traditional development models to community health and wealth building. The City of Richmond has expressed interest in exploring small lot housing splits and community land trust in collaboration with the County for land the City owns within the neighborhood. Additionally, the community task force looking at the interim actions for the Las Deltas housing authority redevelopment has invited Mithun team member Hilary Noll to participate.

ouR-HOME: Filter—20,000 Trees of Justice

What if 20,000 more trees were planted in North Richmond to combat the substantial asthma rates in the neighborhood? Forming a natural air filter, stormwater filter and habitat filter, trees planted in mass can be a green “forcefield” against particulates and toxins. Three typologies of tree species, patterns and maintenance regimes capitalize on the science behind achieving greater health for people, flora and fauna. A greenbelt of planting along the largely diesel-based industrial corridor of the Richmond Parkway and larger scale neighborhood streets, Fred Jackson Way, Market and Chesley, create ecological function and a more walkable neighborhood. Reinforcing a greenbelt along Fred Jackson Way from the center of town to the Urban Tilth farm less than a half mile to the north is a primary goal of the community—connecting to fresh food, community events and career paths offered by the farm. A heritage walk highlighting the history and community leaders of the neighborhood could be incorporated with these improvements.

Air quality parks are groves of trees on larger residual lots not viable for housing that provide new places to gather and for stormwater filtration. Nodes are landmark trees protected and/or strategically



distributed throughout the neighborhood. These large trees complement adjacent planting areas and add to the structural diversity and health of an urban forest canopy.

This urban greening project is being championed by Contra Costa Public Works. The Watershed Project, the San Francisco Estuary Partnership and other community organizations are in partnership.

ouR-HOME: Flow and Grow—Marsh to Main Street

The proposed horizontal levee provides both sea level rise protection and more ways to enjoy the shore. Horizontal levees can be a placemaking tool. Building on the North Richmond Shoreline Vision Plan and concepts initiated by the West Contra Costa County Wastewater operations, a horizontal levee will minimize flooding into North Richmond, protect infrastructure assets and enable marsh growth in an ecologically rich part of the Bay. Wetlands restoration and tertiary wastewater treatment are part of the levee strategy, supporting marsh replenishment as sea level rises over time and the current marsh drowns. Levee trails provide redundant trail connections in the event of high tides and different types of walking experiences, including panoramic views. A pilot to test a decentralized wastewater facility in the neighborhood creates additional reclaimed water that can be located closer to local users such as the Urban Tilth farm and new greenbelt plantings. The neighborhood-scale facility is also a placemaking opportunity in a neighborhood that has identified gathering spaces as a much-needed amenity. This coastal restoration and protection project is being championed by County Supervisor John Gioia with multiple partners.

ouR-HOME: Relate—A Doctor’s Prescription for Wildcat Creek Trail

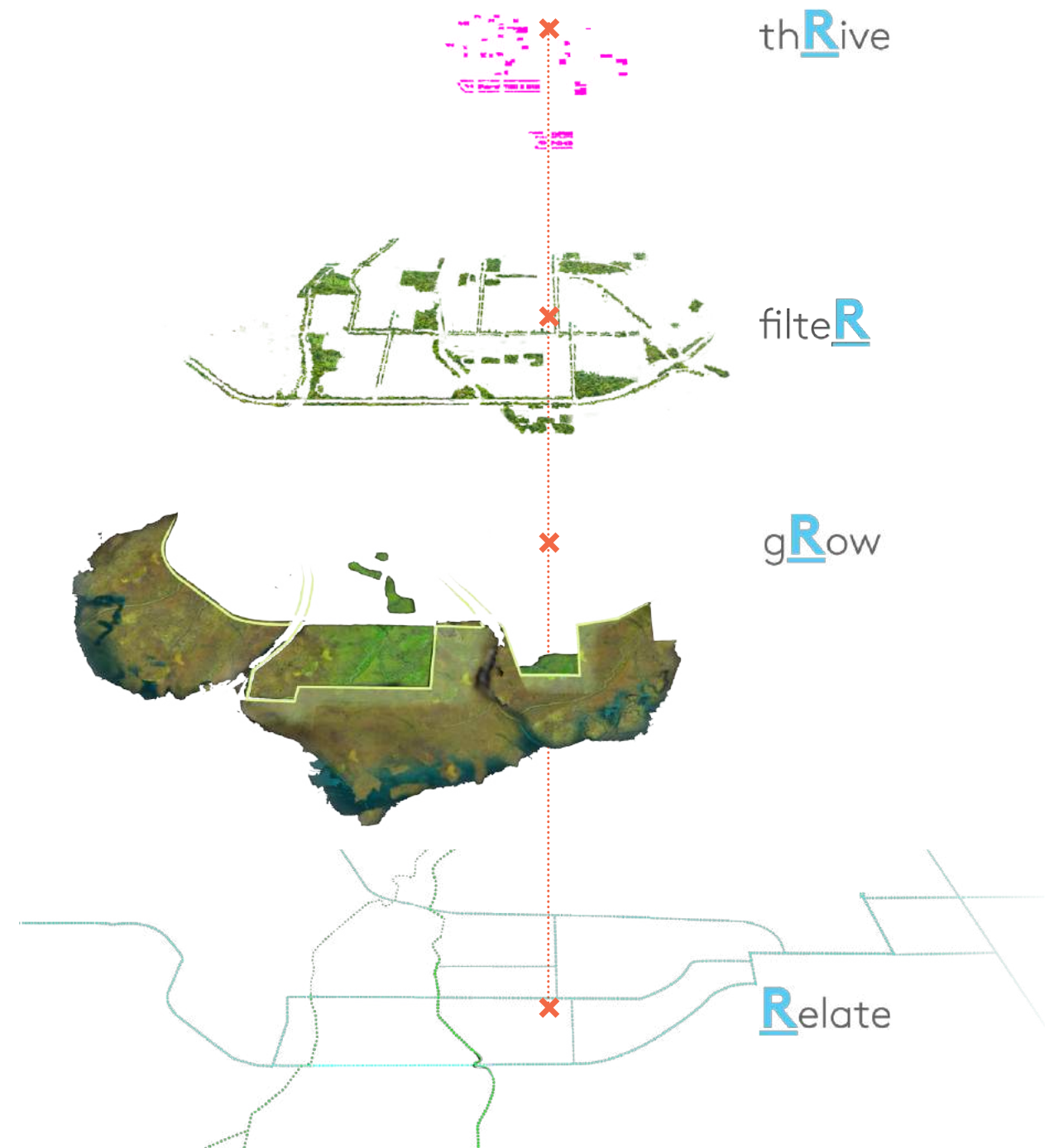
A connection to nature is one of the strongest healing experiences for people experiencing trauma and chronic stress. This community has long been isolated from the Bay edge that is so close by. Sea gulls are heard in North Richmond but the residents don’t have a

safe way to walk to the Bay. A parkway overpass for a multi-use trail connecting Wildcat Creek Trail to the Bay Trail has agreements and easements in place, and a renewed energy around the design concept. The proposed connection creates a sense of identity specific to the history of North Richmond and provides an important educational opportunity, as the overpass to the Wildcat Creek Trail connects to the neighborhood’s Verde School, an elementary school that will soon be converted to a K-8 facility. Contra Costa Public Health has a “Walk with the Doctor” program it is interested in considering expanding here as well. The multi-modal trail overpass is being championed by East Bay Regional Parks District in partnership with the Trails for Richmond Action Committee (TRAC).

ouR-HOME: Green Benefits District

A new policy tool is envisioned to support local investment, hiring and project development. This tool, called a “Green Benefits District” will collect funding from three key sources: 1) mitigation funding from state and federal funding sources for environmental remediation, 2) redirected County funds by streamlining waste and water programs, and 3) impact fees from new commercial and industrial development. This is a primary tool in moving from a traditional “return to capital” model to a community wealth building “return to community” model, capturing the benefits of re-localizing labor, capital and resources (such as water and biomass).

A “Community Development Corporation” (CDC) representing North Richmond residents would be the beneficiary of these funds. The CDC is envisioned to be tasked with sustainable development including affordable housing, local employment and urban greening projects in the public space. A new CDC could be formed or an existing NGO could take this program on. The entity will be able to funnel funding from mitigation (e.g. state CAPP funding, Republic Sanitary Services, Chevron, etc), grants and, most importantly, contracts from public works. It will be charged with performing public works maintenance



tasks such as gardening, street sweeping and anti-dumping. The residents will be employed/contracted as individuals, small family businesses, local youth/resident teams from other NGOs or as part of re-entry programs. The CDC will work with other organizations for training (e.g., The Watershed Project will be able to train crews on green infrastructure installation and maintenance, and provide an arborist and native

plant experts) and technical support. The CDC mission should be collaborative in nature and should have both neighborhood improvements and employment outcomes. Contra Costa Public Works is spearheading the effort to write this policy in partnership with local community organizations, the Watershed Project and Urban Tilth.

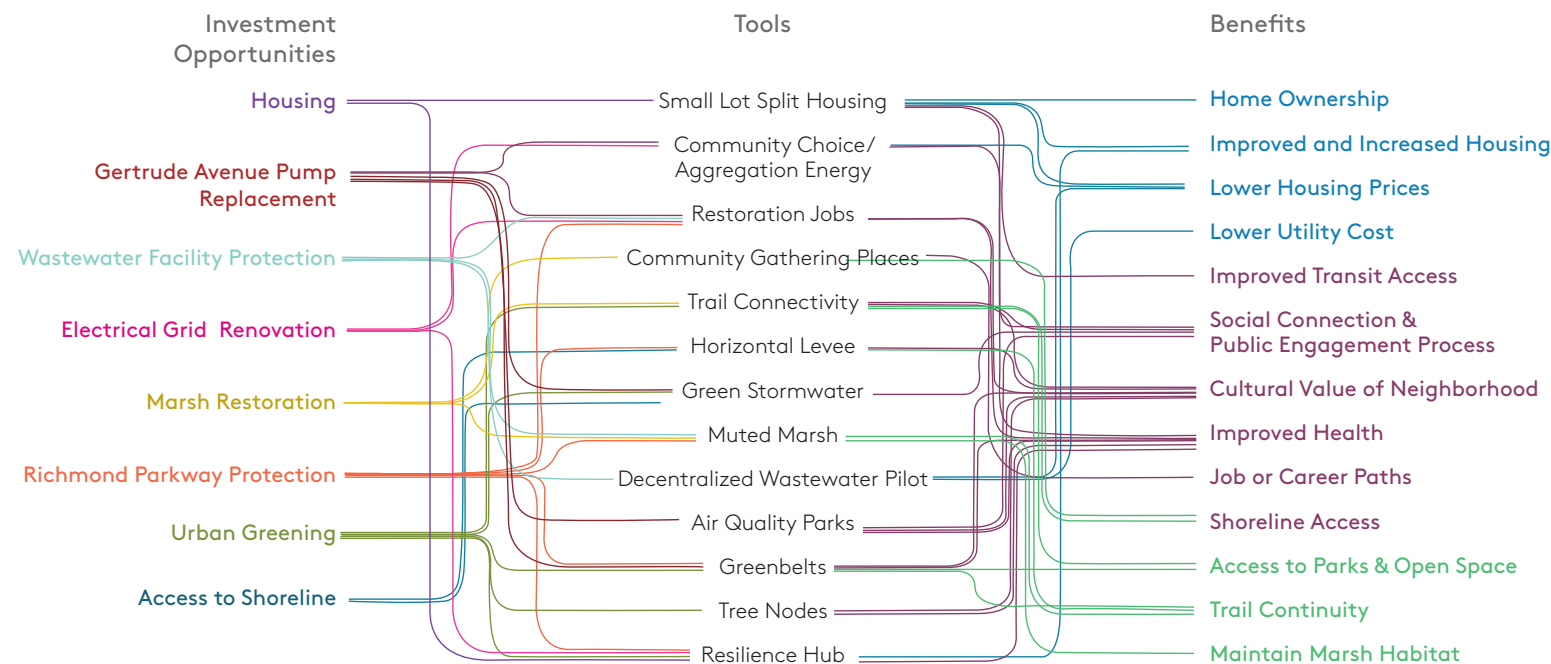
Why North Richmond Can Set an Equity Bar for the Bay Area

Many communities around the Bay have similar challenges to North Richmond: low-lying neighborhoods at the Bay edge, isolated by freeways or industry, with high concentrations of poverty. Chronic health issues in the African American community are linked to long-term stress and trauma from these challenges together with a generational history of slavery, Jim Crow laws and mass incarceration. The conditions in North Richmond are a particularly vivid example.

The community leaders in North Richmond and the collaborative work being done there are strong and well established. North Richmond's sustainable work in oyster restoration, watershed restoration, fresh food access and social justice are already shared nationally as excellent models. This is a place that is well positioned to implement resilience projects and share the stories.



Shipbuilding in North Richmond



Community-Driven Design Choices Informed by Science

The champion of these projects is the North Richmond Community Advisory Board, which includes residents of North Richmond and the City of Richmond. The Community Advisory Board was assembled with community liaisons Juliana Gonzales from the Watershed Project and Robert Rogers from County Supervisor John Gioia's office to reflect the community and stakeholders, and was based on an open call of applications. Key community organizations such as Urban Tilt, Community Housing Development Corporation, Safe Return Project, San Francisco Estuary Partnership and the Council of Industries are

participating on the advisory board. Public agencies include Contra Costa Flood Control District, West County Wastewater Facility and Contra Costa Public Works.

The Mithun Home Team is a design team with technical expertise that includes landscape architects, architects, planners, coastal engineers, ecologists, artists, transportation and bike/pedestrian mobility planners, affordable housing finance experts, economic advisors and community outreach facilitators.

Next Steps for Implementation

The community advisory board is looking for seed money to continue the collaboration. Board members noted how useful it has been for resident experts and technical experts to exchange information and use the umbrella of resilience as a way to organize and prioritize their work. The Mithun Home team has also benefitted from exploring ways to share sea level rise information in communities with urgent needs—lessons that can be immediately applied to ongoing work with other neighborhood leaders. Targeted meetings where the Mithun Home Team can work with the advisory board to bring design and science to the process would help advance the community-driven work with a broader audience of funders.

The Mithun Home team is meeting with the County, the Watershed Project and Urban Tilth to discuss how to advance many of these projects under the following major initiatives: an urban forest plan, an integrated water plan and a green benefits district. Each of these has the potential to be tied to a community-driven health action plan with funding, and given the history of exclusion from planning and investment, it will be essential that any new investment be developed with community participation as well as a community benefit framework for implementation. Partners such as the Trust for Public Land have offered to participate if the community desires.


In addition, the team's design process led to a series of prototypes which address distinct conditions along the dynamic Bay edge, and have potential for rapid implementation. Examples include oyster-friendly encasements of creosote piers and oyster-friendly platforms for water trail users, both of which support existing research by the State Coastal Conservancy and the Contra Costa Conservation Resources. Designs have been reviewed by these champions and funding will support physical installations and monitoring to test feasibility.

“Sea level rise is coming and anything we do today to get ready will pay off big time. We’re facing much shorter timeframes than we used to think we had about this problem.”


—Juliana Gonzales, Executive Director, The Watershed Project

	INTEGRATED COMMUNITY DECISION-MAKING PLAN		FLOW AND GROW			THRIVE				RELATE			FILTER		GREEN BENEFITS DISTRICT				
	Integrated Water Management Plan	Health Assessment Equity Framework Plan	Horizontal Levee	Marsh Trails	Wetland Restoration	Phase One	North Richmond Specific Plan	Las Deltas Conversion	CLT Small Lot Housing	Net Zero Energy	Phase One	Overpass Greenway/Walk of Honor	Floating Trail	Phase One	Urban Forest Plan	Phase One	Establish Green Mitigation Fund	Resilience Hub	Air Risk Evaluation Program
AB 617 Community Air Protection Programs																			
AB 398 Cap and Trade																			
Affordable Housing Sustainable Communities (AHSC)																			
CHDC Programs																			
City Of Richmond																			
Coastal Conservancy Climate Ready Grants																			
Contra Costa County																			
Ducks Unlimited																			
Land and Water Conservation Fund																			
Marin Clean Energy																			
Measure AA																			
MTC Active Transportation Planning and Safe Routes																			
North Richmond Green Mitigation Fund																			
Opportunity Zone Funds																			
Prop 1 Water Bond																			
SB 595 Regional Transportation																			
SB 1 Gas Tax																			
SB5 Resource and Climate Bond																			
SF Bay Restoration/Coastal Conservancy																			
Social Impact Bonds																			

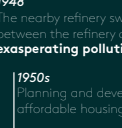
600
Ohlone Tribes arrive in the area now known as North Richmond, drawn to the resources provided by the rich marsh and coastline at the out fall of Wildcat and San Pablo creeks.



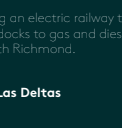
1901
Construction on the then Standard Oil Refinery began in 1901 between the Potrero Hills and the marshlands.




1948
The nearby refinery switches from using an electric railway to transport supplies between the refinery and the bayside docks to gas and diesel trucks, further exasperating pollution issues in North Richmond.




1954
The American Friends Services Committee founds the Neighborhood House of North Richmond, which endures today as a multi-service, social advocacy agency.



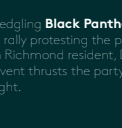
1967
The fledgling Black Panther Party holds a street rally protesting the police shooting of North Richmond resident, Denzil F. Dawell. This event thrusts the party into the national spotlight.



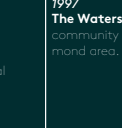
1997
The Watershed Project is established, promoting resiliency, community and ecological awareness throughout the Richmond area.



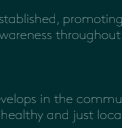
2005
Urban Tilth develops in the community with a focus on sustainable, healthy and just local food system.




2017
SF Estuary Partnership develops the North Richmond Shoreline Vision Plan as a community-based approach to planning for management, restoration and protection to sustain the vibrant ecosystem and its community.




2022
A new pedestrian bridge connecting Wildcat Creek trail to the marsh opens, becoming a new icon for the neighborhood & a critical link in local pedestrian infrastructure.



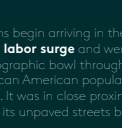
2025
A new horizontal levee is completed to protect critical infrastructure and promote marsh migration in the face of sea level rise, helping secure North Richmond's resilient future.



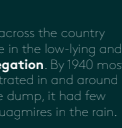
1800 - 1900
North Richmond was a tiny enclave of light dwellings where largely Italian, Mexican and Asian immigrants worked in agriculture in the fertile areas between the two creeks.




1939-1945
African Americans begin arriving in the Bay area from across the country during the WWII labor surge and were forced to settle in the low-lying and flood-prone topographic bowl through de facto segregation. By 1940 most of the area's African American population was concentrated in and around North Richmond. It was in close proximity to a garbage dump, it had few street lights, and its unpaved streets became muddy quagmires in the rain.



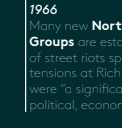
1956
North Richmond Neighborhood Council is formed, the first of its kind in the Bay area.



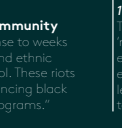
1966
Many new North Richmond Community Groups are established in response to weeks of street riots sparked by racial and ethnic tensions at Richmond High school. These riots were "a significant factor in advancing black political, economic and social programs."



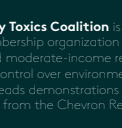
1986
The West County Toxics Coalition is founded as a multi-racial membership organization founded to empower low and moderate-income residents to exercise greater control over environmental problems. The group leads demonstrations opposing the toxins emanating from the Chevron Refinery.




2012
Chevron Refinery settles for \$5 million a lawsuit from the City of Richmond alleging the refinery's negligence in releasing toxins and hydrocarbons. The settlement did not include an admission of guilt.



2018
Resilient by Design begins working with the North Richmond neighborhood.



2021
Permanently affordable housing in North Richmond is secured through pathways to wealth-building and small lot ownership. Las Deltas is reimaged as a mixed-use development with both rental and ownership opportunities. That same year, a new North Richmond Heritage Walk opens along Fred Jackson Way honoring the community's cultural, environmental and social contributions to the Bay Area.





Part I. Design Concept

Research & Analysis Overview

The critical overlap between social, environmental and infrastructural challenges brought the Home Team to North Richmond at the end of the Research Phase. Eighty-five billion Bay Area dollars will be invested in climate change in the coming years and those investments must be leveraged for stacked benefits, starting with the communities that currently have the most compounded vulnerability. Seeking implementable multi-benefit solutions, research and analysis in the Design Phase has focused on deepening our understanding along two tracks: identifying the existing and future impacts of environmental factors and climate change in North Richmond, and teasing out community-based needs and priorities for immediate, tangible improvement.

Simultaneous research strands led to key discoveries that directly shaped the Mithun Home Team’s design solutions. Mapping and analysis of existing datasets partnered with extensive conversations with vital local organizations and experts to develop a base understanding of the site. A series of meetings with our Community Advisory Board applied resident knowledge and stakeholder priorities towards developing a common vision. Local testing of the Streetwyze app helped spatially locate neighborhood assets and challenges, tying back to design goals and development (see Streetwyze in the Appendix). Through these research tracks, several key discoveries formed the basis for the R-HOME designs:

NORTH RICHMOND COMMUNITY ADVISORY BOARD

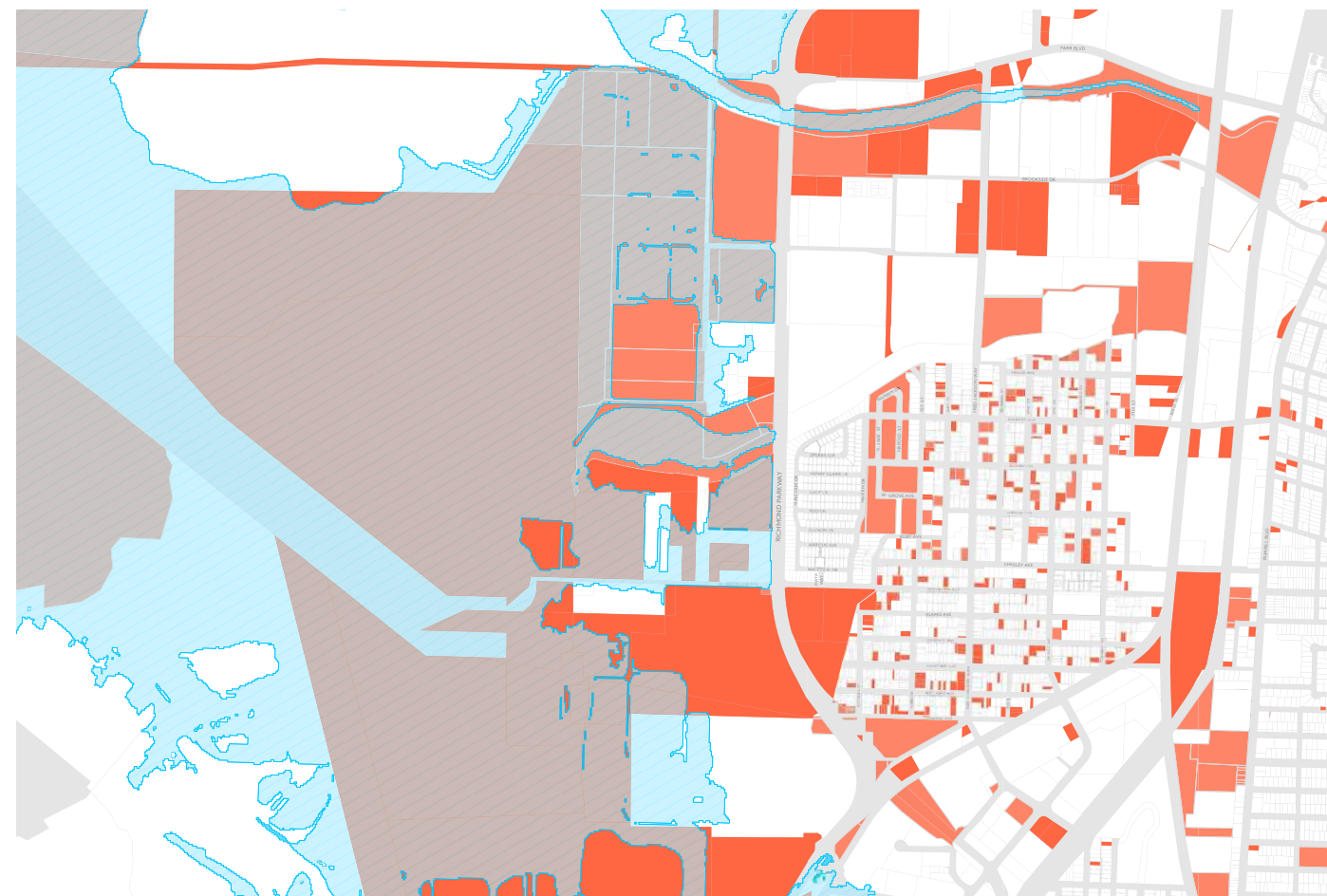
- Sequoia Erasmus Richmond Mayor’s Office
- Beth Williams North Richmond Homeowner / Resident
- Courtney Moore Urban Tilth
- Dr. Henry Clark North Richmond Municipal Advisory Council
- Heidi Nutters (shared seat) San Francisco Estuary Partnership
- Josh Bradt (shared seat) San Francisco Estuary Partnership
- John Steere Contra Costa County Watershed Program, PWD
- Juliana Gonzalez The Watershed Project
- Katrinka Ruk Council of Industries
- LeDamien Flowers Safe Return Project / North Richmond Resident
- Nick Snyder Tierra Resource Consultants / CCC Sustainability Commission
- Paul R. Detjens Contra Costa County Flood Control & Water Conservation District
- Princess Robinson Urban Tilth / North Richmond Resident
- Regina Cuevas TWP Block Ambassador / North Richmond Resident
- Robert Rogers Office of County Supervisor John Gioia
- Sandra Hamlat East Bay Regional Park District
- Sara Guardian The Watershed Project / North Richmond Resident
- Sherry Stanley West County Wastewater District
- Tania Pulido Community Housing Development Center, North Richmond





Above—Pump & SLR map: an aging pump and outfall lie within the 6' sea level rise zone, with orange indicating the immediate neighborhood flood risk if the pump is impacted today.

Below—Vacancy Map: orange parcels indicate vacant parcels, both private & county-owned, within the study area, overlaid with 6' SLR



Key Discoveries via Research & Conversations:

Pump: North Richmond lies in a topographic bowl and some of the lowest lying areas of the neighborhood are kept dry from stormwater flooding by a county-owned pump that deposits millions of gallons of urban runoff into the Bay, even during the dry season (See Appendix X for the pump service extent diagram, and the pump flooding map at left for the immediate impact if this infrastructure is impaired). This critical piece of infrastructure lies within the sea level rise zone, is reaching the end of its functional lifespan, and currently serves as a stop-gap solution to inland flooding within the neighborhood.

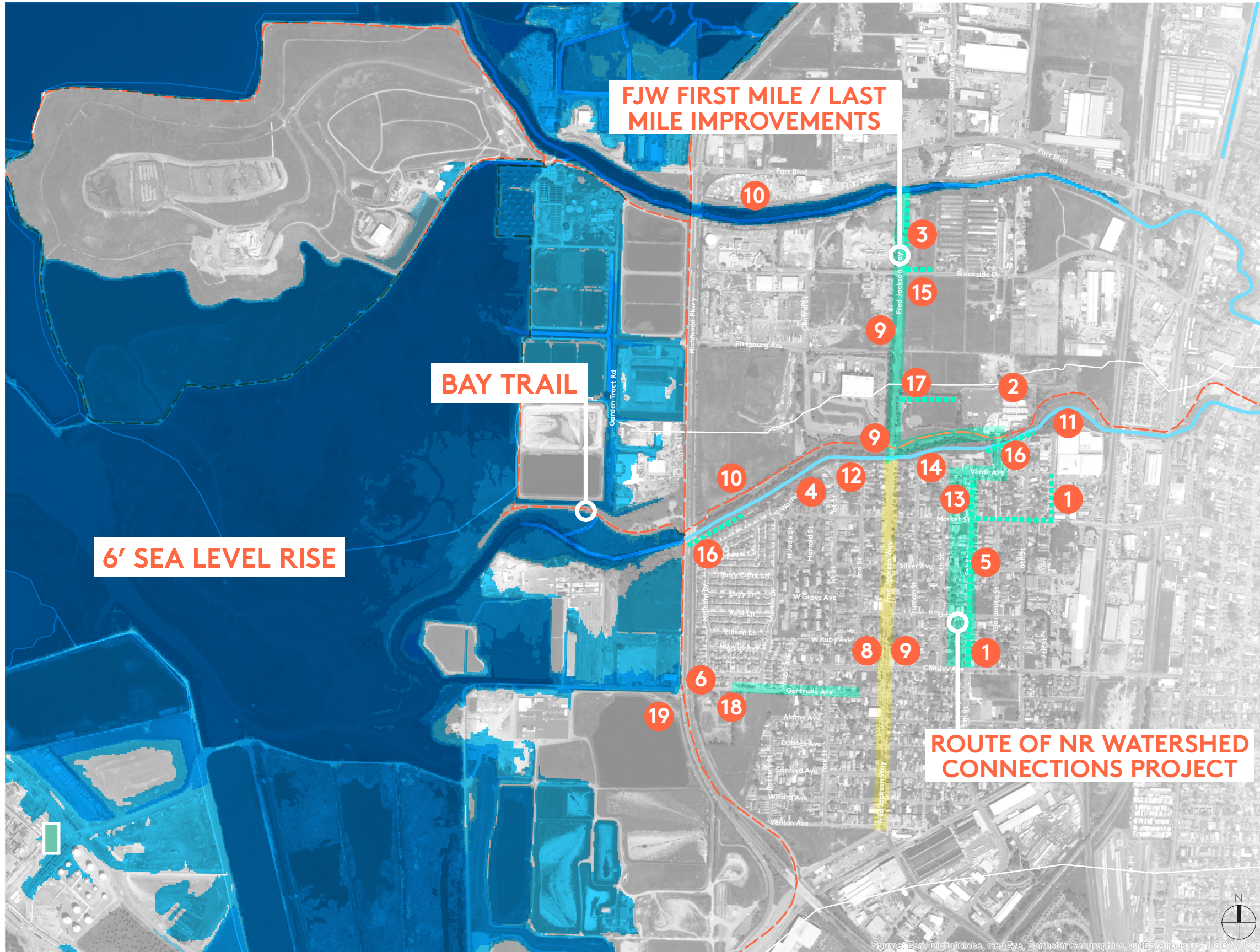
Vacant Land & Hacc Redevelopment: North Richmond contains a significant percentage of vacant parcels, creating key opportunities for strategic long-range planning in the community (See Vacant Parcels map). In addition, xx# Contra Costa Housing Authority parcels formerly comprised of xx# units of housing are currently being vacated and are slated for near-term redevelopment (See HACC Las Deltas Distributed Sites drawing, Appendix X).

Air Quality Significance: Surrounding heavy industrial uses, an adjacent refinery operation and heavily-trafficked transit corridors lead to poor air quality and high community health burdens, with the highest CalEnviroScreen score for asthma in the state. (See Air Quality Map & CalEnviroScreen scores, Appendix X)

Existing Work: A variety of smaller-scale initiatives around urban greening, green infrastructure, pedestrian improvements, local fresh foods and flooding mitigation already exist and elicit significant community support, bolstered by local champions like The Watershed Project and Urban Tilth.

Community Strength & Self Determination: Individual conversations and Community Advisory Board interviews revealed a strong sense of community self-determination, independence and pride.

Design goals and outcomes directly stem from these key research discoveries.



EXISTING INITIATIVES

urban forestry

- 1 CLEAN AND GREEN - STREET TREES (TWP)
- 2 VERDE SCHOOL PARTNERSHIP GARDEN (URBAN TILTH)
- 3 NORTH RICHMOND URBAN FARM (URBAN TILTH)
- 4 FIRST AND MARKET COMMUNITY GARDEN (URBAN TILTH)
- 5 SENIOR CENTER NATIVE HABITAT (NHNR)
- 6 PROJECT PRIDE NATIVE HABITAT GARDEN (NHNR)

Community connectivity

- 7 WEDNESDAY FARMERS' MARKETS (VARIOUS)
- 8 PROPOSED SMALL MARKET (VARIOUS)
- 9 F. JACKSON WAY WALKABILITY - 1ST & LAST MILE (PWD)
- 10 RAISE FLOOD CONTROL CHANNEL LEVEES (FCD)
- 11 WILDCAT CREEK SILTATION BASIN COMMUNITY-BASED STEWARDSHIP (URBAN TILTH)
- 12 NON NATIVE (IVY) REMOVAL (URBAN TILTH)

Watershed cleanup and improvements

- 13 "ADOPT A BLOCK" - PART OF NR COMMUNITY-BASED CLEANING AND OUTREACH PROGRAM (TWP; CWP)
- 14 NR GREENING PROJECT - CREEK CLEANUPS (NHNR)
- 15 DEMONSTRATION BIORETENTION BASIN (URBAN TILTH)
- 16 ANNUAL "HOT SPOT" CLEAN-UPS (TWP)
- 17 GREEN INFRASTRUCTURE AT N. RICHMOND BALLFIELD (TWP)
- 18 FULL TRASH CAPTURE DEVICE PLANNING (CWP)
- 19 NR PUMP STATION SW RECYCLING PROGRAM (CWP)

ACRONYMS:

- TWP = THE WATERSHED PROJECT
- PWD = COUNTY PUBLIC WORKS DEPARTMENT
- CWP = COUNTY WATERSHED PROGRAM
- NHNR = NEIGHBORHOOD HOUSE OF NORTH RICHMOND
- NR = NORTH RICHMOND

Site Description & Geographic Context

North Richmond lies on the edge of San Francisco Bay in west-central Contra Costa County. Completely surrounded by the City of Richmond, the unincorporated neighborhood of North Richmond depends primarily on the county for services. The residential heart of the community lies just south of Wildcat Creek; mixed-use industrial land fills the space between Wildcat and San Pablo Creek further to the north. The community is pinned between Chevron's refinery operation and the Republic Services landfill, cut off from the surrounding urban fabric by BNSF rail lines on the east, the refinery and industrial uses on the south, and Richmond parkway on the west.

The area of design interest focuses at a watershed level on the San Pablo and Wildcat watersheds, honing in on the distinct, mostly unincorporated neighborhood of North Richmond and the mixed industrial lands directly to the north. Low-lying geography and systemically disinvested community infrastructure create an area acutely susceptible to climate change impacts,

compounded by existing stressors that range from socio-economic challenges including health disparities to air and environmental contamination (See Appendix X for CalEnviroScreen). The neighborhood lies within a topographic bowl at the edge of the bay, at risk to immediate, significant inland flooding and longer-term sea level rise inundation (See detailed topographic map, below, and the Pump Extents diagram, Appendix X).

A 42-unit housing development and several mid-scale light industrial projects are currently opening or approved by the Contra Costa Department of Conservation and Development (See project list, Appendix X). Existing grant-funded small-scale urban greening and pedestrian improvement projects are also underway via the Fred Jackson First Mile/Last Mile Connection Project, the North Richmond Watershed Connections Project, and various non-profit initiatives via Urban Tilt and The Watershed Project (See Existing Work map on the following page).

Below: 1' contour model of the area, showing the residential portion of North Richmond's low-lying topographic bowl.



LEGEND

- WATERSHED BOUNDARY
- SEA LEVEL RISE @ 6'
- BAY TRAIL (PROPOSED AND EXISTING)
- STREAMS
- RICHMOND BART STATION





Design Principles

1. "Nothing about us, without us"
2. Direct community benefits—focused on North Richmond
3. Immediate results—there is urgency
4. Adapt-in-place strategies
5. Prioritize design solutions with most multi-benefit
6. Work as a team and unite
7. "We are a badass group that is ready."

Impacts & Vulnerabilities Addressed

- Air quality (measurable indicators: asthma rates, PM 2.5, street-level monitoring)
- Inland flooding (measurable indicators: street flood counts, levels & duration)
- Community identity and perception (measurable indicators: regional survey-based studies, internal/external crime rates)

- Sea level rise (measurable indicators: marsh transition/habitat retained, number of active properties vulnerable, population numbers in flood area)
- Aging infrastructure (measurable indicators: electrical grid quality, street condition,
- Historic disinvestment (measurable indicators: home ownership rates, employment rates)
- Displacement (measurable indicators: housing burden rates, neighborhood typology analysis, continuity rates)
- Access to shoreline (measurable indicators: number of access points, population numbers served within a 1/2-mile walk)
- Continuity of trail system (measurable indicators: gaps completed, redundant trails available during flooding, management of existing trails)
- Community health (measurable indicators: obesity rates, depression rates, asthma rates, diabetes rates, access to public space, walking frequency)

Design Concept

Leading with Equity

Our-HOME emerges from the North Richmond community's ideas for building health, wealth and home ownership for more than 5,000 residents—turning investments in sea level rise adaptations and aging infrastructure into opportunities for all. Using a racial equity lens in each stage of work, the Mithun Home Team joined with a community advisory board to explore ways the neighborhood can adapt in place, prioritize projects and co-create a process that can continue as projects are implemented.

Home Ownership and Wealth Building

Building on a vibrant local history, neighborhood stabilization and strategies for home ownership underlie the vision for a resilient North Richmond. Using vacant lots as a catalyst, a community land trust and small lot splits lower the cost of entry for ownership. Sustainable energy and water strategies keep utility costs low. Financial stability is key for residents to have the capacity to respond to sea level rise.

Delivering Multiple Benefits

Major community infrastructure, roadways and valuable marsh habitat are threatened by future sea level rise. Proven green infrastructure strategies, cultural and community gathering places and a health assessment combine to link physical and social benefits for the neighborhood—affordable housing, low utility costs, tree planting for air quality and stormwater, a horizontal levee, wetlands restoration, a decentralized wastewater pilot, a multi-use trail overpass and a Heritage Walk that celebrates the leadership and cultural history of the neighborhood.

Priority Resilience Areas

North Richmond is an acute example of why the current methods for directing funding to Priority Conservation Areas and Priority Development Areas does not support current issues facing the Bay. The current model is dichotomous and the future is a rapid-response hybrid that restructures public investments to support both ecological and economic functions. Priority Resilience Areas can bridge the importance of both and direct funds equitable where the needs from historic disinvestment are greatest. This is shown to have a positive economic and environmental impact for everyone—reducing commute times, lowering healthcare costs and shifting high costs of incarceration to immediate costs of healing people and the Bay.





Part II. Design Roadmap & Next Steps

Local & Regional Stakeholder Support

Working with community liaisons Juliana Gonzales from the Watershed Project and Robert Rogers with County Supervisor John Gioia's office, Mithun and Streetwyze created an open-call application for a community advisory board with a stipend. The goals were to co-create a process and develop a series of projects that were relevant to community needs. By holding a series of five two-hour workshops in the community at the Verde School and the Senior Center, the team and the board were able to create continuity to support deeper conversations.

The board was intentionally formed to create a mix of residents, public agency representatives, NGOs and private business representatives. Age, race, gender, professional skills and roles, and geographic location reflect the population of North Richmond. One lesson learned was the language barrier for the initial round of open application. We realized there were no Hispanic applicants and the community is now about 60-70% LatinX. Juliana advised us and through local housing corporation representative, Tania Pulido, additional candidates were recruited.

Additional lessons learned were about the challenges for students in attending this type of meeting. In hindsight, relying on direct communication may have revealed schedule or travel challenges we could have addressed. The importance of beginning co-creation of agendas at the first meeting was also apparent.

The ideas highlighted and refined by the community advisory board run from large-scale housing and infrastructure projects like the Las Deltas redevelopment to the horizontal levee to a modest paving medallion inset to celebrate local leaders and cultural history.

There is local and regional interest in supporting our proposals—for example, the Watershed Project and Urban Tilth are locally based. Regionally, the State Coastal Conservancy has demonstrated continued interest in the potential for the creosote piers. The appendix includes meeting agendas and meeting notes.

"We as people can be the change. We just have to try. We have to be united to create change here in North Richmond."

—Regina Cuevas, Verde School parent, Block Ambassador

"So Resilient by Design is just a little piece, right? To get the ball rolling for people to come together and think about these issues, long term. And figure out how can we be able to work together to build a stronger community here."

—Ladamien Flowers, Safe Return



Implementation Strategy: Long Term and Short Term

34

The series of projects are linked together in order to achieve an equitable response to climate change and sea level rise. Considering these solutions together isn't just desirable, it is fundamental to the outcomes. Adaptation to and mitigation of sea level rise and other climate change impacts cannot be solved in isolation. The challenges are systemic and, therefore, are not limited to only shoreline issues. The solutions don't need to be complex to respond effectively—we have the technologies to solve them. Rather we need the will to implement what we know works, to create an equitable context where communities have agency to make their own choices. The stability of housing, health and wealth building are foundational to being able to make personal choices.

Near-term projects that support a stabilized community include many that are underway and can be linked into a framework to create greater results

The two needs that consistently rise up in the community advisory board and stakeholder discussions are [home ownership](#) and [neighborhood identity](#). The short term projects that have emerged to support that are part of **Thrive**, **Filter** and **Relate**:

1. A community task force is creating a community plan to work with the County on mitigating the loss of the Las Deltas Contra Costa Housing Authority affordable housing and planning for future affordable housing. Hilary Noll from Mithun has been invited to participate in the task force. The task force seeks to move the redevelopment plan forward as rapidly as possible by determining the combination of factors that will make the site attractive to a mix of uses, primarily affordable housing. The sustainable energy and water systems that can keep costs low for the neighborhood will benefit from having a redevelopment driver. **(THRIVE)**
2. East Bay Regional Parks District and the Bay Trail are supportive of a community process to complete

the Wildcat Creek trail crossing to the marsh with a multi-use trail over Richmond Parkway. An overpass not only provides safe crossing and connectivity, it creates an iconic statement about North Richmond in a regionally visible place—providing an equitable response to creating unique landmarks in our communities. **(RELATE)**

3. A community process can be established with the guidance of the advisory board for integrating a Heritage Walk into future street improvement projects such as First Mile/Las Mile along Fred Jackson Way. **(FILTER)**

One of the many powerful things coming out of the Resilient by Design process is the recognition that funding community-driven, pre-development integration of projects makes investments go farther, more effectively. The Bay Area is expected to need to make over \$85 billion dollars of investment in climate change responses. These dollars must be streamlined.

In order to get started on an implementation project, the preferred projects must be prioritized and tested for feasibility. The next step is to fund the continuation of the very effective North Richmond Community Advisory Board. A community-driven design process built around equity framework criteria is an important context for moving into implementation. There are a number of implementable projects that have strong support from the Board and the County Supervisor, John Gioia—tree planting, an overpass, a Heritage Walk and a horizontal levee. Contra Costa Public Health is considering providing seed money to this effort by linking their bi-annual county health assessment to these meetings, identifying an epidemiologist that can join the board and increasing community voices in their work. Looking at health issues in conjunction with an integrated water management action plan keeps the social benefits linked to physical green infrastructure improvements. Water management and health issues span the five proposed projects.

By consolidating this brief study to integrate health, water, urban forest and trails, the process also respects the community's time. The process will test feasibility and options for key projects, develop goals and objectives for each project to evaluate design options, identify the preferred design direction, complete the design, make the health benefits of each project explicit and identify County benchmarks for health and performance that can be tracked over time. The Watershed Project and Urban Tilth will be central leaders in this work.

The legacy for the Bay Area will be ouR-HOME projects emerging from the community that link health and wealth building by residents to infrastructure investments. These first next steps are foundational to supporting agency in the community. The implementable next step for the physical green infrastructure response to sea level rise is an integrated water management action plan. This provides a decision-making context that the community can use to prioritize and establish projects that meet needs and objectives and link them to investments. Linking a water management action plan to a healthy living initiative can be vital to keeping the focus of investments on those that are most beneficial to the community.

North Richmond Water Management Action Items

Water Management—Prepare a holistic Water Management Plan that includes strategies for meeting future demands by fully integrating the use, conservation, recycling, reuse, disposal and management of potable water, wastewater, industrial water, stormwater, irrigation water, groundwater, creek water, ecological habitat water and seawater throughout North Richmond.

Horizontal Levee—Use of recycled irrigation water and/or treated wastewater as a means for irrigating the establishment of native plant communities on the horizontal levee.

Stormwater—Capture and treat stormwater off of rooftops and other relatively clean surfaces for greywater reuse, irrigation water and industrial water. Implement water quality best management practices throughout the watershed as part of a comprehensive green infrastructure program to address groundwater recharge, creek water and seawater recharge, and supplementing ecological habitat water.

35

Sea Level Rise—Prepare a sea level rise adaptive management strategy that includes approaches for addressing marsh migration, sediment transport patterns, aquatic habitat, groundwater intrusion, upland inundation, flooding and storm surges.

San Pablo and Wildcat Creeks—Develop a Creeks Management Plan that addresses flow management, water quality, aquatic habitat, riparian habitat, invasive species management and flooding.

A Healthy Living Initiative

A Healthy Living Initiative would support all of these directions by keeping the focus on the community's health. Through a community process, health indicators are established that are most relevant and can be tracked over time.

Urban Forestry Plan— An Urban Forestry Plan is proposed for North Richmond that addresses needs identified in the health and air quality baseline assessment, and builds on the recently completed Richmond Urban Greening Master Plan.

Green Benefit District

Establishment of a Green Benefit District will provide consistent funding to support community development. Sources of revenue will include mitigation funding from state and federal funding sources, County funds for waste and water programs and impact fees from new commercial and industrial development.

Implementation Process

The community advisory board will be meeting at the end of May to discuss what form it would like to take to continue these efforts. Possible options include operating as a resilience task force of the North Richmond Municipal Advisory Committee; formation of an Ecodistrict to engage in an intentional equity and climate change process with a cohort of other communities; establishing a Living Communities team to set performance targets that support resilience; or other scenarios that may arise in the discussion. The following project descriptions include next steps and possible champions for a comprehensive suite of projects that can be prioritized in the short term projects identified above.





40 Thrive: Home Ownership and Affordable Living as a Path for Community Wealth Building

Resilience in North Richmond requires attention to the challenges that limit residents' ability to thrive—the cost of housing, utilities and transportation, the limited access to good jobs that build careers, and the obstacles faced by resident entrepreneurs eager to start local businesses. Strategic investment in affordable “net zero” ownership housing, electric vehicles, transit connections and community support services can reduce the cost of living for residents, and catalyze local reinvestment and wealth building. Resilience hubs will support home ownership, disaster preparedness, local business creation, education and job training, and community connection. The creation of a North Richmond Social Impact Bond together with a land trust will create new permanently affordable “deep green” homes on empty lots and support renovation of existing homes. North Richmond is one of a few federal Opportunity Zones around the Bay that can benefit from a new federal program for long-term tax-free community investments.

The Legacy of Structural Racism

North Richmond is a “pocket” community in west Contra Costa County with a positive sense of identity, strong social bonds, and engaged community activists. It is also a fence-line community, adjacent to industrial uses including the Chevron refinery, the single largest carbon emitter in the state, and surrounded by Richmond Parkway to the west with wastewater treatment and trash handling beyond, rail lines to the east and under-utilized industrially zoned land to the north. The Iron Triangle neighborhood of Richmond is located to the south. The industrial zone to the north is bounded by two creeks. The area between them was

historically a flood plain and is now home to industrial uses and urban farms. The legacy of structural racism—slavery, Jim Crow, redlining, predatory lending, mass incarceration—continues to shut this community out of the economic recovery that has benefited much of the Bay. North Richmond’s average household income declined over 30% from 2000–2016, while the cost of housing has been increasing, eroding home ownership and driving displacement. North Richmond’s home ownership rate—once high at over 60% is currently 31.8%—much lower than the California average of 55%, and the US average of 64%.

Strategies for Building Health and Wealth

Social Impact Bond (SIB): Create an SIB program, similar to the one piloted in Richmond for affordable housing renovations, to support local projects with outside investment by socially conscious investors. Align with the federal tax benefits for Opportunity Zones and create criteria that set reasonable but not excessive financial return.

Community Land Trust (CLT): Develop a CLT with land held in trust and buildings privately owned by residents. Resale profits will be limited to the sale price plus improvements with an annual gain of 2-3% over inflation to support long-term affordability while enabling residents to build wealth through home equity, with home prices within reach because they do not include the land cost.

Small Lot Home Ownership: Redevelop vacant lots with affordable “small lot” housing (~1000 SF each); include small business commercial space on the ground floor for lots along Fred Jackson Way. We propose development of approximately 25 lots with four units each for a total of about 100 new ownership units.

Multi-family Housing with Shared Amenities: Redevelop the Las Deltas housing site and other larger vacant parcels with multi-family development (~500 units total, half rental and half ownership). Include diverse sizes from single rooms to family size apartments with shared amenities including community kitchens, social rooms, daycare, and shared electric cars and bicycles to reduce carbon emissions and the need for private car ownership.

Local Hiring Requirement: As part of the overall equity framework plan criteria, include local hire requirement for all new housing. Because labor accounts for approximately 2/3 of the cost of construction, this provision will boost earnings in the area by as much as \$80–\$100 million as the projects are built. Those earnings will drive local purchasing power. Local hire is also a strategy for solar PV installation, tree planting, energy upgrades, etc.

Deep Green Energy and Water Systems: Energy and water utility bills are a significant cost for low-income households and green technologies can significantly reduce costs while creating local jobs. Integrate energy efficiency upgrades and locally installed PV with local hiring requirements. Marin Clean Energy (MCE) programs streamline low-cost financing and provide bonuses for energy savings and installed solar power, making solar profitable for residents as well as installers. Partner also with innovative water efficiency programs to create deep green homes that reduce utility costs. Explore potential for fuel switching to all electric within the community to support energy independence.

Electric Vehicles and Car Share: Car ownership is a significant cost for households. Use of electric cars and bicycles reduces climate impacts and also greatly reduces the cost of ownership. Integration of electric vehicle hubs for car/bike sharing can help households reduce the number of cars they own. Contra Costa County recently received a grant to support electric vehicle (EV) readiness and provide incentives to low-income households.

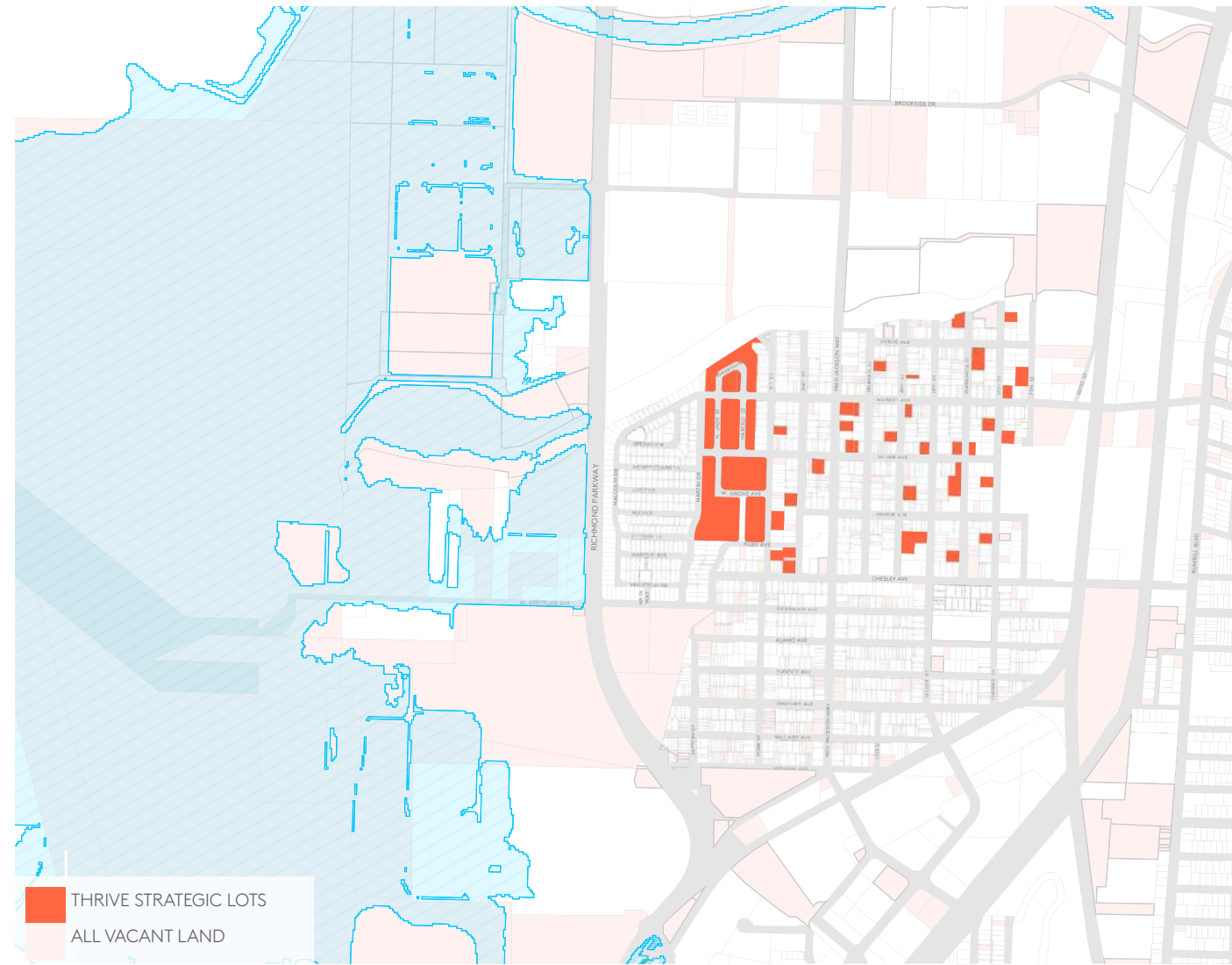
Heritage Walk: North Richmond has a tremendous cultural history around music, environmental justice and civil rights that has been shared through oral storytelling but is not visible in the neighborhood. The Heritage Walk is a series of metal insets honoring local people, important places and the accomplishments of the community. These could be located in the sidewalk either in one key location and/or distributed to highlight significant places around the neighborhood.

Designing For Equity

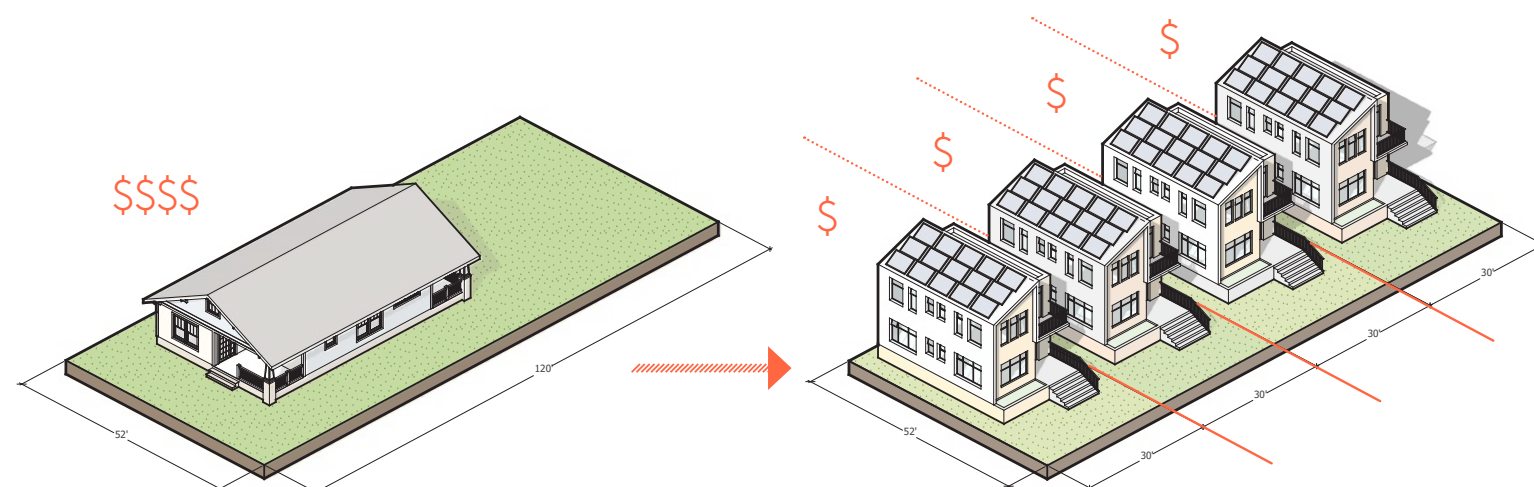
Equity means that people at all levels of the income scale get the extra support needed to build wealth through home ownership, low utility costs, quality jobs that build careers and a healthy environment. North Richmond is caught between the challenges of disinvestment and resulting health impacts, and the threat of gentrification. Vacancy is currently a challenge with more than 214 public housing units at Las Deltas in transition, as the rental assistance program will be fully transferred to other sites throughout Contra Costa County, and the existing units either renovated or replaced. Most of the Las Deltas units are already vacant, another 10% of all housing units in the neighborhood are vacant year-round, and many lots are empty. Greening strategies to improve the neighborhood and reduce negative impacts of vacancy and surrounding industry must be paired with new affordable housing and community wealth building strategies to avoid displacing current residents to the margins of the Bay Area with even less access to jobs, transportation, services and the supportive, familiar community on which they currently rely.

Selective housing investment in North Richmond can catalyze employment and improve quality of life for current residents with housing that is affordable by design. Home sizes will vary, with small lot homes averaging about 1000 SF each and multi-family homes ranging from micro-units at 300 SF to larger family units at 1200-1500 SF. This plan will produce housing for moderate-, low- and very low-income households with minimal or no local subsidy. Key factors are as follows:

- impact fees greatly reduced (infrastructure funded through Green Mitigation Fund)
- no-cost financing (social impact bond revolving loan fund)
- minimal or no land cost (transfer of land to community land trust)
- reduced parking requirement
- zero energy water efficient homes have low utility costs
- limited profits allowed at resale (~ 2-3% annual gain over inflation, to be determined by CLT)



THRIVE STRATEGIC LOTS
ALL VACANT LAND



EXISTING:
Typical Lot: 52'x120' = 6240 sq ft

Typical Single Family Home:
1500 sq ft (single story)

SMALL LOT SPLIT
52'x120' = / 4 =
Small Lots at 1560 sq ft each

Small Lot InLl Homes:
1250 sq ft (two story)

Champions of Thrive

This concept has the strong support of the North Richmond Community Advisory Board, which includes residents as well as representatives from Contra Costa County Supervisor John Gioia’s office, and the City of Richmond Mayor’s office. Marin Clean Energy (MCE) will offer technical support and incentives for renewable energy and the ARB has generous incentives for electric cars for low income residents.

This proposed multi-benefit initiative is being developed with partnership from the Richmond Mayor’s Office, and the Contra Costa Housing Authority. Community Housing Development Corporation (CHDC) in North Richmond would be a key project partner for implementation of a community planning process. Mithun would continue in a coordinating and overarching planning role working with the community to develop a specific plan for the area.

Lead funding for development could potentially come from HUD and the new federal Opportunity Zone program which allows investors to defer capital gains taxes by investing in the zones. The Opportunity Zone investment could provide initial capital for housing construction with a steady long-term rate of return for investors.

Funding for pre-development planning and entitlements could potentially come from HCD, as a grant or no-interest loan. SB 540 (Roth): Workforce Opportunity Zone is the state legislative vehicle for the federal Opportunity Zone program. The bill would authorize local

“I feel like every struggle is a blessing. You feel like it is holding you back but really you learning from your lesson. It’s a blessing we get to be a group of people that come together and strategically plan things so that we won’t get hit hard in the end. And that we will have a future to look forward to...”
—Princess Robinson,
Urban Tilth Community Engagement Coordinator

governments to apply for a grant or no-interest loan, or both, from the Department of Housing and Community Development to support its efforts to develop a specific plan and accompanying EIR within the zone. Once approved, housing developed within the zone would be by-right development.

Many good programs are available to support home ownership through the state of California Housing and Community Development (CHCD), and CHDC has offices in North Richmond that provide support for home buyers. These programs include:

- **California Home Source Lease Purchase Program**
The Lease Purchase Program allows qualified residents to choose a home, lease it for three years, and assume the mortgage at the end of the lease term. The program is designed to provide home ownership opportunities to persons with credit difficulties, lack of credit history or lack of a down payment.
- **California Housing Finance Agency (CHFA)**
The mission of CHFA Homeownership Program is to provide affordable housing opportunities by offering below-market interest rate mortgage loans to very low-to-moderate income first-time home buyers. They offer a large variety of programs with lower interest rates, minimum down payment of 3-5% and lower fees to borrowers.

Next Steps for Thrive

This proposal for community wealth building is applicable and transferable to many disinvested communities that have been shut out of the booming Bay Area economy. The next steps include:

- **Equity Framework Plan Criteria**—Work with community to develop equity framework criteria plan that can be used to evaluate the plans and implementation at each milestone.
- **Land Trust**—Identify seed funding to establish land trust and organize stakeholders with strong community participation. Planning staff with the City of Richmond has expressed an interest in participating as lead sponsor and Contra Costa County is interested in participating as a stakeholder, creating a valuable multi-level governance team that would benefit implementation.

- **Social Impact Bond**—Develop financial mechanism for a social impact bond, with non-profit governance, modeled after the Richmond social impact bond. Investors make a long-term commitment in exchange for tax benefits. Homes are renovated by a local work force.
- **Small Lot Housing Pilot**—Develop a design prototype for small lot housing, using a process that includes broad community input and participation in this process. Planning staff with the City of Richmond have expressed an interest in participating as lead sponsor to develop a prototype project, potentially on a site along Fred Jackson Way.
- **Develop Las Deltas Conversion Plan**—Collaborative community effort to develop an equitable vision and plan for the conversion of the Las Deltas housing sites, which were previously federal public housing.
- **Specific Plan**—A specific plan will be co-created with the community to coordinate the community design objectives for larger lot housing including the Las Deltas site (in coordination with the Las Deltas task force), infill small lot opportunity sites, permanent locations for the resilience hub, live-work housing, locations for electric car/bike share, green infrastructure including street trees and open space.
- **Net Zero Energy Leadership**—Develop North Richmond as a leading “Net Zero Energy” community, and link to local hire requirements. Much of the first cost and operating costs of energy efficiency and solar installation can be offset by available program offerings. Negotiation with PG&E on necessary grid upgrades to address deferred maintenance and modernization will be an essential step in the process. Marin Clean Energy (MCE), the Community Choice Aggregation program adopted by Contra Costa County, has the following programs available to North Richmond:
 - » Energy Efficiency for Low-Income Families and Tenants (LIFT) provides rebates to cover efficiency retrofits and fuel switching for income-qualified multifamily properties.
 - » Low-Income Home Energy Assistance Program (LIHEAP) will pay energy bills for customers and support energy efficiency retrofits.

- » GRID Alternatives also offers low-income solar rebates, and free home solar system installations for income-qualifying homes in North Richmond. Utility savings directly benefit the homeowner. This program makes solar installations accessible to low-income homeowners who make less than 80% of area median income.
- » Multifamily and Small Commercial Energy Savings Programs provide rebates for energy efficiency retrofits.
- » Electric Vehicle charging program in pilot includes installation of EV charging stations in the community at workplace and multifamily homes in partnership with PG&E.
- » Net Metering program pays customers \$0.01 above the kWh retail rate for solar energy produced. This program optimizes the solar rebates to the customer and can lead to an annual energy bill of \$0.

“Home ownership is important for us out here because that’s another way of building community. It’s something to live for. It’s something you can leave to your loved ones, your children.”

—Courtney Moore, Urban Tilth Watershed Program Manager

“Creating housing...for people to be able to have housing...all that is all part of wealth. Having a just transition—there is a lot of potential in this community for that. I just think in the holistic way, building all the ideas that we talk about, it’s all part of building wealth in our community.”

—Ladamien Flowers, Safe Return Project

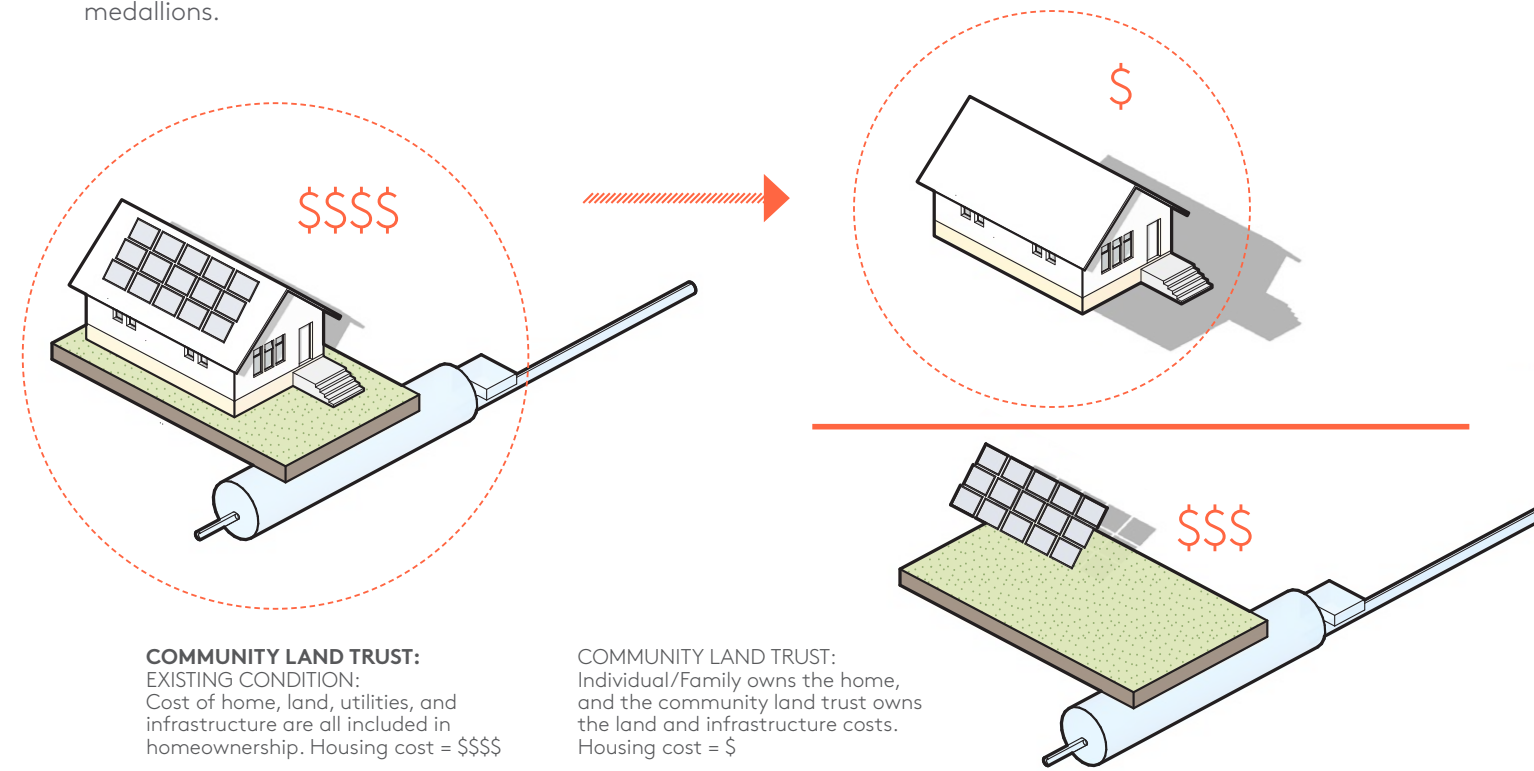
- » Feed-In-Tariff (FIT) program available to larger scale solar installations up to 5 MW at commercial, municipal or industrial sites. This program pays renewable energy producers directly for the solar power they produce. The MCE program pays roughly three times the rate of other FIT programs at \$85/MW-yr.
 - » RichmondBUILD is a workforce development program that recently installed a 10.5 MW local solar installation, Solar One, with locally trained workforce resulting in jobs and renewable power. GRID Alternatives is a similar program in North Richmond, partnering with job training programs, and offering additional training for installers who already have experience, but want to move up in their career.
 - » Contra Costa County (CCC) is pursuing community-wide solar installations. Jody London is working with CCC to identify potential sites for solar installation. These installations will lock in lower energy rates for the community into the future.
- **Heritage Walk**—Mithun will work with a community liaison, potentially from Urban Tilth, to develop a community process for identifying people and places to honor and the design and locations of the medallions.

Looking at Opportunity Zones

North Richmond is one of the few federal Opportunity Zones around the Bay. Opportunity Zone funding could replicate aspects of the City of Richmond’s Social Impact Bond and market the combination of positive social benefits together with a very secure rate of return. Richmond’s Social Impact Bond supports renovation of homes with local labor and sales of those homes replenishes the program.

“...by having ways to accumulate wealth and credit and really be a participant in the overall economy is really what we are looking for. Home ownership is really an anchor for that. This community has been locked out of that for a really long time.”

—Josh Bradt, San Francisco Estuary Partnership, Resilient by Design Research Advisory Committee







Filter: 20,000 Trees of Justice

Richmond residents' rate of asthma is 17% versus an average of 7% statewide. The simple act of planting trees en masse can create a multi-functional air filter for particulates from heavy truck traffic on Richmond Parkway, as well as emissions from industrial neighbors. Landscape-based stormwater treatment, such as raingardens, can also slow and pre-treat stormwater while reducing localized flooding. A comprehensive approach is envisioned with trees and green stormwater infrastructure acting as a filter for air and water, reducing pollutants, providing shade and moderating the climate, with diverse plant communities providing habitat to wildlife. While trees contribute to a healthy community and healthy ecosystems, local organizations and individuals will benefit from expanding existing jobs growing, installing and maintaining these trees and raingardens.

Tree Typologies

Trees are familiar and underappreciated for the efficient and effective ecological and health benefits they provide—clean air, clean water, healthy soils, lower temperatures, mental restoration and shelter for birds and insects. More than 20,000 trees could be planted in the streets, parks and some of the residual lots throughout North Richmond. Tree groves are compatible with occasional inundation from localized flooding and can be designed to hold stormwater.

In the Bay Area region, projected climate changes include warmer days and more frequent and intense rain. Trees can capture up to 30% of rainfall on their leaves and transpire it back into the atmosphere which then in turn cools temperatures. By testing different species of willows and oaks, this project can help the

“On a national scale asthma is at 7% but in Richmond it’s at 17%. 17% of folks in Richmond got asthma.”

—Ladamien Flowers, Safe Return Project, North Richmond resident

region understand which tree types will be hardy in future conditions in the Bay Area provenance—improving the success rates of tree health.

The trees envisioned for North Richmond will be permanent and temporary, edible and shade trees, for distribution and sales as well as for local restoration, for experimentation and for products. Growing, installing and maintaining trees is a career path that has an established history in North Richmond with local organizations Urban Tilth and the Watershed Project, which already plant more than 200 trees each year. By carefully selecting the composition and combination of trees, performance and research, shared goals can be established and met.

Closing Health Disparity Gap

Residents in the North Richmond neighborhood experience much higher asthma rates, diabetes, obesity and other health challenges, and research shows this is directly correlated to the physical environment.

Many communities around the Bay have similar challenges to North Richmond—low-lying neighborhoods at the Bay edge, isolated by freeways or industry, with high concentrations of poverty and exposure to contaminated air. With a proactive approach to creation of tree planting areas in the residential areas, and careful attention to species and location, masses of trees planted in sufficient quantities can make a real difference to air quality. This is one of the best practices to reduce exposure to local air pollution identified by the Bay Area Air Quality Management District (BAAQMD) in their guidance document entitled “Planning Healthy Places.” Tree planting also has many valuable co-benefits including stormwater management, noise control and temperature moderation, and enhances community value overall.

North Richmond can demonstrate how familiar solutions and technologies can be combined in a comprehensive approach for greater health impact and innovation. These combined strategies support new ways existing residents can start small businesses, follow a career path and enhance health of their community with cleaner air and water, more walkability streets and places for recreation.

“Putting trees and biofiltration together is going to be a real service to this community in terms of impacting heat islands and treating urban runoff through these old industrial areas that are heavily polluted with legacies of PCBs in them, so this is really a hotspot for those kinds of approaches.”

—Josh Bradt, San Francisco Estuary Partnership, Resilient by Design Research Advisory Committee

Champions of Trees of Justice

The project champion of this idea is the North Richmond Community Advisory Board, which includes residents as well as representatives from the East Bay Parks District, the West County Wastewater Facility, the Contra Costa Flood Control District, the City of Richmond Mayor’s Office and County Supervisor John Gioia’s office. We will be requesting that the North Richmond MAC and the West County Toxics Coalition and Communities for a Better Environment support this proposal as key project partners.

To advance the urban forest plan and establish a related health and air quality baseline assessment, the design team would include Mithun; Biohabitats; Stew Winchester, a local arborist; the Watershed Project and/or Urban Tilth; a local geotechnical and local civil engineer to be determined for soils evaluation, drainage and permitting. San Francisco Estuary Partnership will be a resource for additional technical expertise and coordination with other regional initiatives.

This project will benefit from the recently completed Richmond Urban Greening Master Plan. San Francisco Estuary Institute is developing green infrastructure planning guidance and each jurisdiction will need to provide a green stormwater infrastructure plan by 2019. Multi-benefit strategies developed to address air and water quality will be highly transferable and add value to the Richmond Greening Master Plan.

Suggested pre-project funding could potentially come from Chevron or area distribution centers that rely on truck use and other local businesses such as Republic Services, or from the Contra Costa County Department of Public Health. Trust for Public Land has been a partner on many Richmond parks and green infrastructure projects and may be a good partner/resource here as well due to their focus on health.

The urban forest plan could be funded by:

- Coastal Conservancy Climate Ready Grants, \$3.6 million available, 75% of funds for disadvantaged and low-income communities. The Conservancy is seeking to support multi-benefit projects that use natural systems to assist communities in adapting to the impacts of climate change, with an emphasis on projects that enhance natural systems and benefit disadvantaged communities. Proposals due July 2nd.
- Cap and Trade, estimated at \$2 billion per year. Align with AB398 which outlines funding priorities including—(1) air toxic and criteria air pollutants from stationary and mobile sources, (2) low- and zero-carbon transportation alternatives, (3) sustainable agricultural practices that promote transitions to clean technology, water efficiency and improved air quality, (4) healthy forests and urban greening, (5) short-lived climate pollutants, (6) climate adaptation and resiliency, and (7) climate and clean energy research. Note: this could be a part of a larger grant including other projects and green mitigation fund.
- Prop 1 State Water Bond, \$2.7 billion with \$1.495 billion for multi-benefit ecosystem and watershed protection and restoration projects.
- Measure AA Funds, \$25 million per year, distributed by SF Bay Restoration Authority (SFBRA) for restoration and flood protection in the nine county Bay Area.
- SB5 Resources and Climate bond, up to \$3.5 billion, measure to improve community’s ability to adapt to unavoidable impacts of climate change including landscape resilience and water retention.
- Other sources of funding could include North Richmond Green Mitigation Fund.





Next Steps for Trees of Justice

The next step is the formation of a team with a modest amount of pre-project funding to pursue grant funds for a community process to develop the urban forestry planning project in conjunction with a health assessment baseline that can be revisited to demonstrate how the implementation is meeting its goals. An equity framework plan has been discussed for creating criteria that can be used by the North Richmond MAC or the continuation of the North Richmond Community Advisory Board to evaluate the proposed implementation plans.

The project is an urban forestry/greening plan for the North Richmond area that would be one layer of a more comprehensive specific plan for the area. Given the pace of commercial and industrial development, it would be beneficial to establish a baseline plan outlining ecological buffer areas and street tree opportunity areas as soon as possible. The plan would include an implementation strategy and a phase one installation that would include evaluating the conditions of sites; developing goals and objectives for

the project with the community and project sponsors; building criteria with the community, land owners and scientists for the range of installation typologies; identifying the phase one installation and developing the benchmarks for health and performance that can be tracked over time. A goal of this plan would include a commitment to develop a work plan with a substantial role for local experts to perform at least 30% of the design work, and 90% of the installation and maintenance work. Technical expertise in design and maintenance would be developed in collaboration with the local experts.

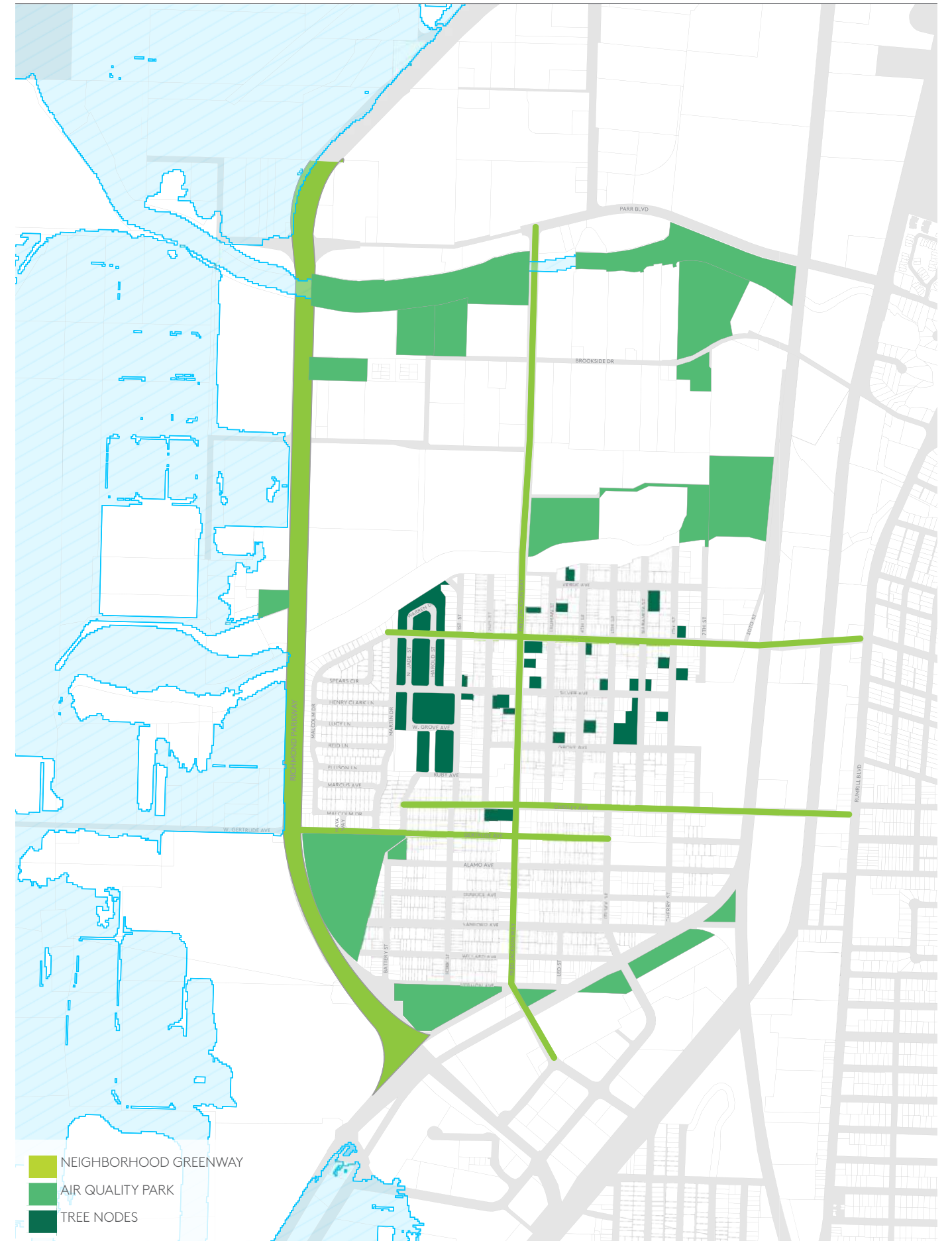
Measuring Climate Change Impacts on Trees

The compact North Richmond residential neighborhood provides an ideal study area for measuring the impact of strategically located and selected tree species to filter air pollutants, reducing exposure to diesel exhaust and industrial emissions. Tracking the air quality baseline of North Richmond, and the impact of tree buffer zones on the concentration of pollutants can be correlated with health outcomes over time as part of this study.



“We are a frontline community...with (high) asthma toll rates. Planting more trees will help and create better air quality for everyone, not just us, but everyone.”

—Courtney Moore, Urban Tilth, Watershed Program Manager





KEY SPECIES:



ARROYO WILLOW



MONTERREY CYPRESS



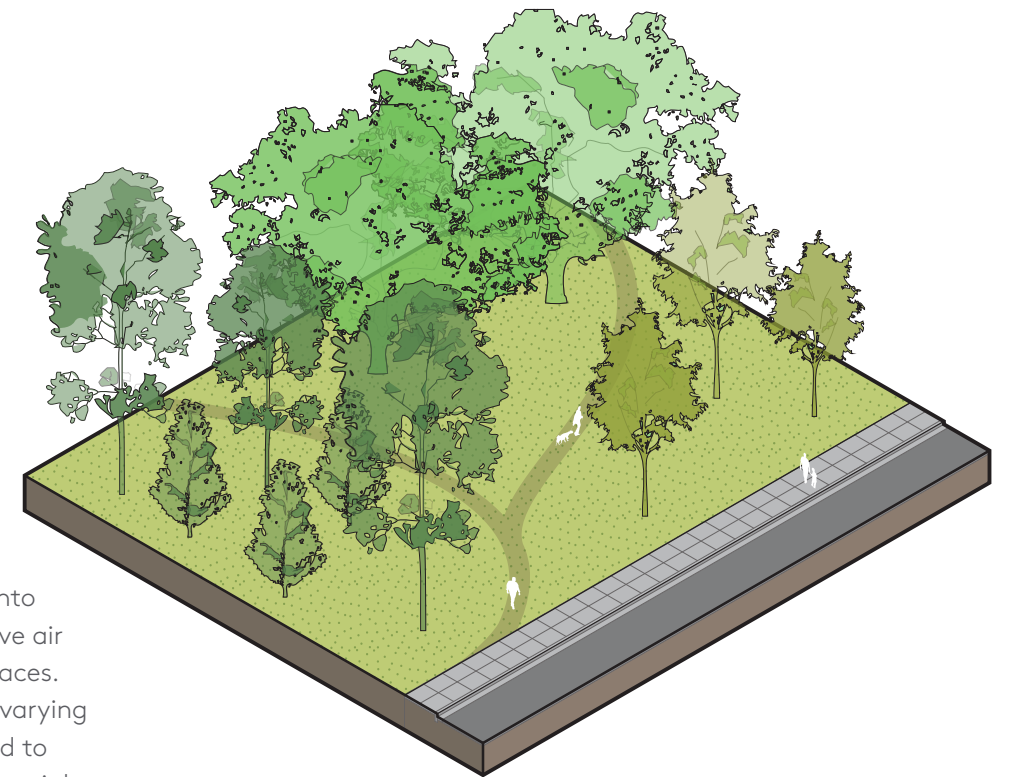
VALLEY OAK



COAST LIVE OAK

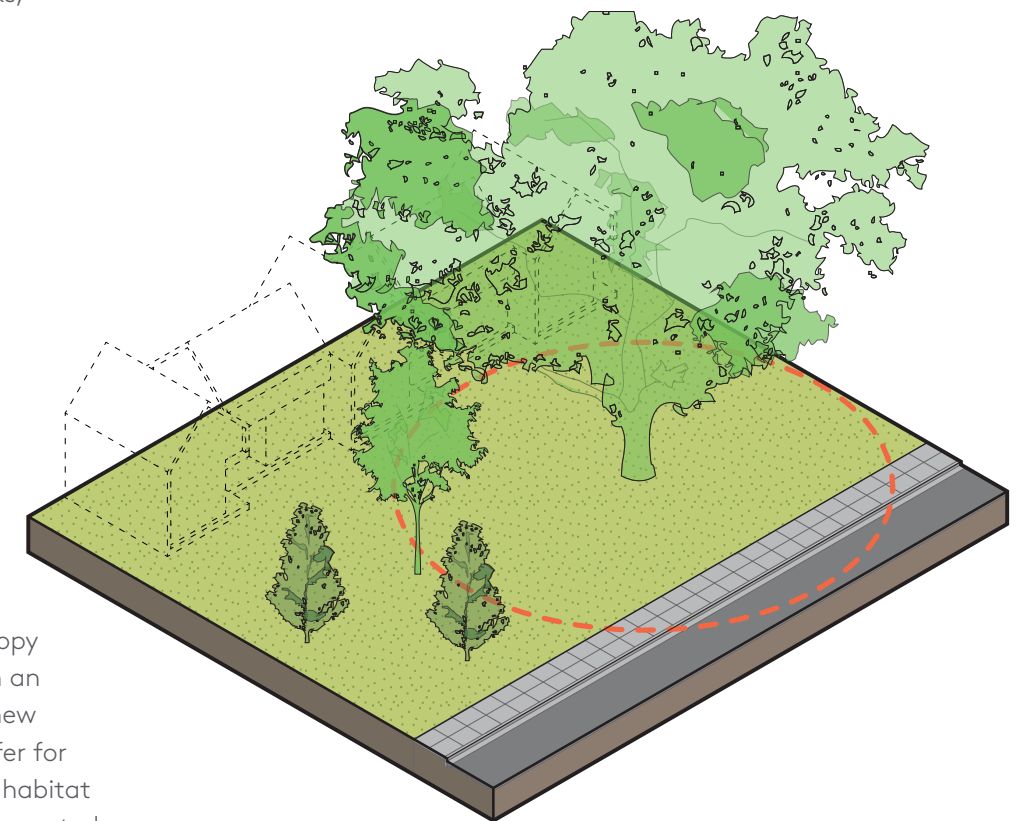
Neighborhood Greenway:

Capitalize on space along wide rights of way such as the Richmond Parkway. Tree species selections are based on high effectiveness at removal of fine particulate matter from large number of diesel truck trips. Focus on large evergreen trees with long life spans that do not emit high levels of volatile organic compounds—for example cypress, pines and possibly poplars.



Air Quality Park:

Vacant lots can be transformed into densely planted parks that improve air quality and provide new social spaces. Trees are planted in clusters with varying species for ecological diversity and to maximize air quality benefits. Potential species suites include native oaks, willows and sycamores.



Tree Nodes:

Preserve large, healthy tree canopy by protecting existing trees with an appropriate buffer zone. Plant new trees outside the protective buffer for future successional canopy and habitat connectivity. The tree nodes are created in tandem with new housing proposals on neighborhood vacant lots.



Flow and Grow: Marsh to 'Main Street'

62

Adaptation is the ability of a place to adjust to changes and continue to thrive. Building on the North Richmond Shoreline Vision Plan, a horizontal levee and muted marshland can protect the neighborhood, the West County Wastewater facility and the Richmond Parkway, and co-exist with the warehouse uses that are providing local jobs. The levee and muted marsh strategies support a 'transition zone' where sediment can slowly gather and rise to grow valuable marsh habitat that will continue to filter and support the largest eelgrass bed in the Bay Area, oyster beds and bird migration paths. The interactions between the horizontal levee, muted marsh and the creek system provide opportunities to grow the marsh while improving riparian and fish habitat in the flood plain. Nearby wastewater, stormwater pumping systems and composting infrastructure are engaged as beneficial contributors to this hybrid ecology. The creek levees, built by the flood control district to provide basic neighborhood protection that accomodates projected sea level for 2100, can also be designed to provide the option for a long term, 'grey-to-green' transition from industrial uses to farming to marshland, exploring bioremediation and sediment value capture strategies in the future.

Why Here?

The Richmond region has the most shoreline of any area around the Bay. It is one of the few places that has undeveloped or reusable land to create transition zones where marsh can grow. Transition zones are where sediment naturally gathers to create more marsh over time. As marsh drowns with sea level rise, new marsh takes hold on higher ground within the transition zone to support marine life, as well as healthy water and air for people.

This area is also home to industry, many distribution centers and County services such as waste transfer, composting and wastewater treatment that rely on Richmond Parkway for truck access. This is not a unique combination around the Bay although it is a

vivid example—an ecologically exceptional creek and marine ecosystem paired with highly polluted land and intensively used infrastructure.

This is a place to break down the conceptual duality between natural systems and hard infrastructure, by creating hybrid ecological systems. The West County Wastewater Treatment Plant is engaged in resource recovery and reuse of treated effluent providing purple pipe water to Chevron. Urban Tilth and other agricultural uses in the area would also benefit from recycled water. The landfill nearby operated by Republic Services has been capped, however it is still a solid waste transfer site and has active composting on site that could become a beneficial contributor to local agriculture and to the maintenance of the horizontal levee system. Finally, the watershed was reconfigured with the introduction of levees and a pumping system located at Richmond Parkway and Gertrude Avenue

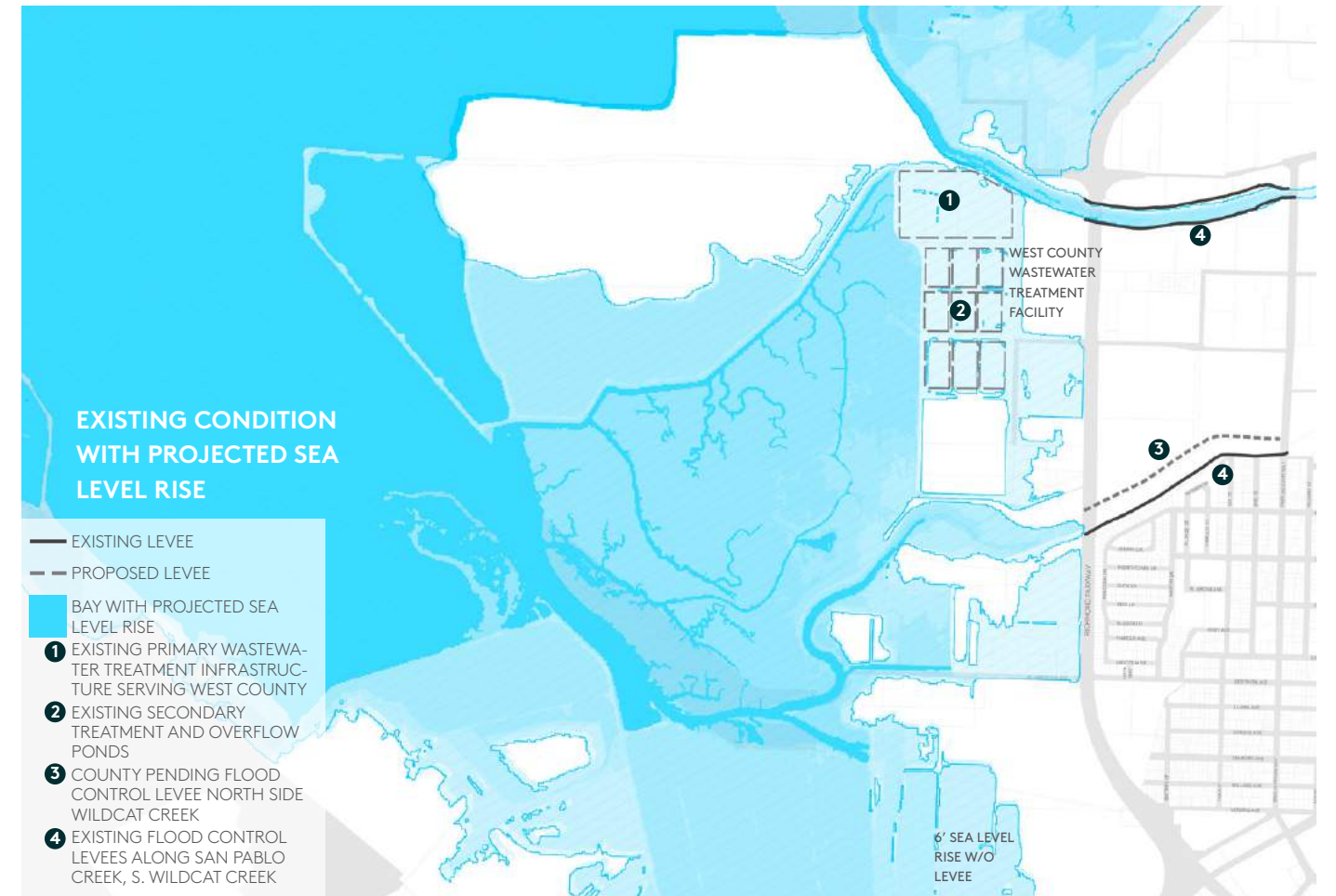
“Sea level rise is coming and anything we do today to get ready will pay off big time. We’re facing this is much shorter timeframes then we used to think about this problem.”

—Juliana Gonzales, Executive Director, The Watershed Project

which currently runs all year round to keep low-lying areas of the community dry.

A Multi-Purpose and Flexing Levee

A protective horizontal levee running north-south, just west of the existing West Contra Costa County wastewater treatment facility, will protect critical infrastructure in the face of rising tides and storms while also providing new marshland acreage and a naturally occurring transition zone. A muted marsh, or wetlands restoration, is managed with tidal gates that allow high tides to come in and out of the inundated area—creating healthy habitat. Trails can connect to future interpretive destinations planned at Point Pinole



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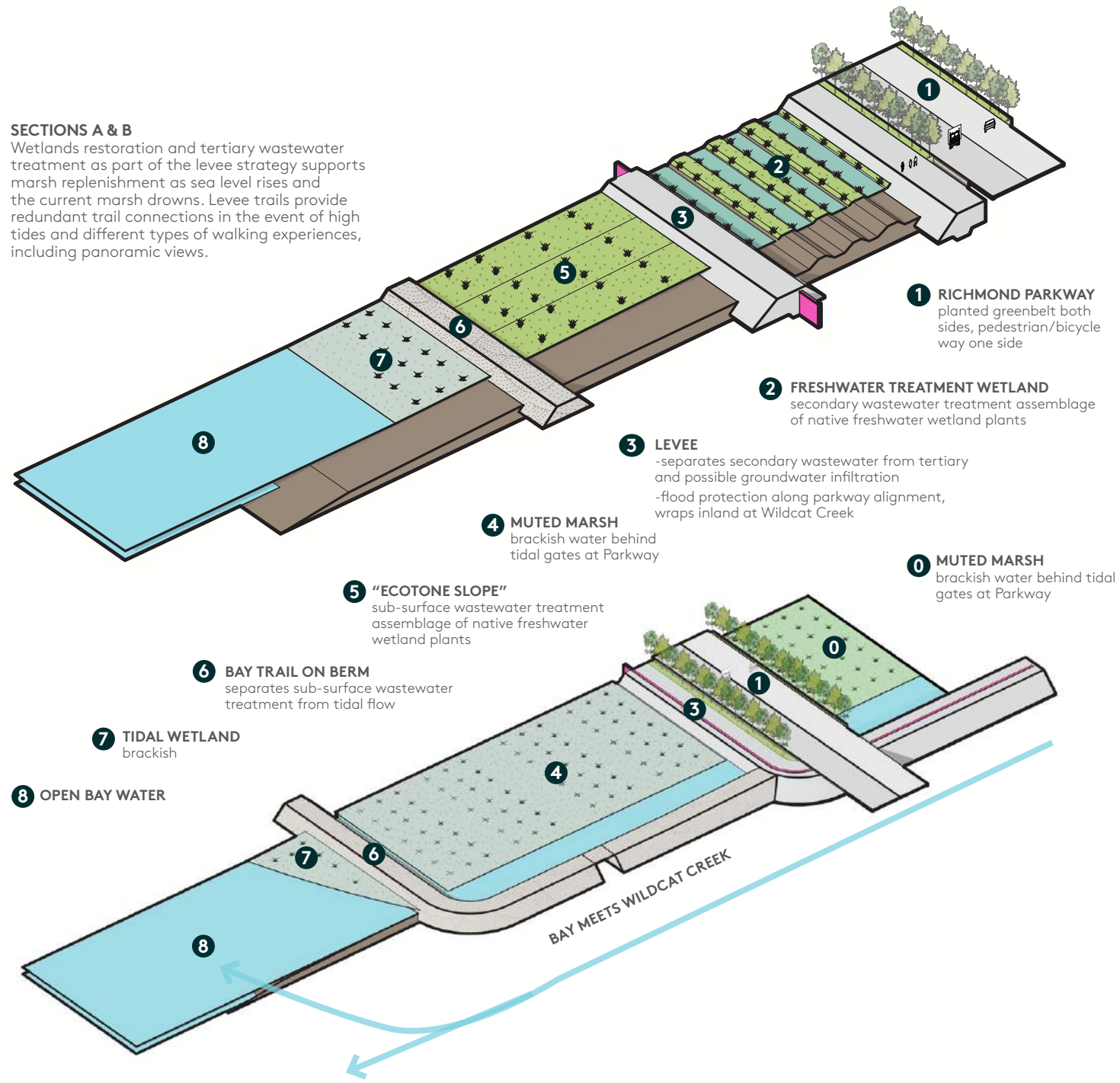
and West County Wastewater Facility, and the marsh can be designed to fit around planned industrial uses.

The West County Wastewater District’s levee strategy would be coordinated and extended within the greater shoreline to protect the North Richmond neighborhood and existing and planned industrial uses from sea level rise and storm surge. However, the stormwater pumping system is also needed to protect North Richmond and City of Richmond residents, and to improve and maintain access at Gertrude Avenue. The pump will require modernization as it is in the future inundation zone and is also getting to the end of its useful life. The water from the pump is envisioned as a beneficial future water source for agriculture, tree nurseries, establishing the plantings on the horizontal levee and other non-potable uses.

A portion of the integrated levee concept is described as “flood control 2.0” because the innovative linked systems combine the flood control structure with beneficial sediment delivery, where re-connection of creek systems enables marsh regeneration Bay-ward of the levee; on the inward side, the levee provides a structured 'ecotone' slope for tertiary wastewater treatment and polishing via subsurface wetlands. The nearby compost recovery operation may also provide a source of organic material to supplement the natural sediment flow, however this option requires further study. Finally, all elements of this plan—the nurturing of the marsh and the creative resource recovery opportunities—all create opportunities for green jobs and ongoing scientific research.

SECTIONS A & B

Wetlands restoration and tertiary wastewater treatment as part of the levee strategy supports marsh replenishment as sea level rises and the current marsh drowns. Levee trails provide redundant trail connections in the event of high tides and different types of walking experiences, including panoramic views.



1 RICHMOND PARKWAY
planted greenbelt both sides, pedestrian/bicycle way one side

2 FRESHWATER TREATMENT WETLAND
secondary wastewater treatment assemblage of native freshwater wetland plants

3 LEVEE
-separates secondary wastewater from tertiary and possible groundwater infiltration
-flood protection along parkway alignment, wraps inland at Wildcat Creek

4 MUTED MARSH
brackish water behind tidal gates at Parkway

5 "ECOTONE SLOPE"
sub-surface wastewater treatment assemblage of native freshwater wetland plants

6 BAY TRAIL ON BERM
separates sub-surface wastewater treatment from tidal flow

7 TIDAL WETLAND
brackish

8 OPEN BAY WATER

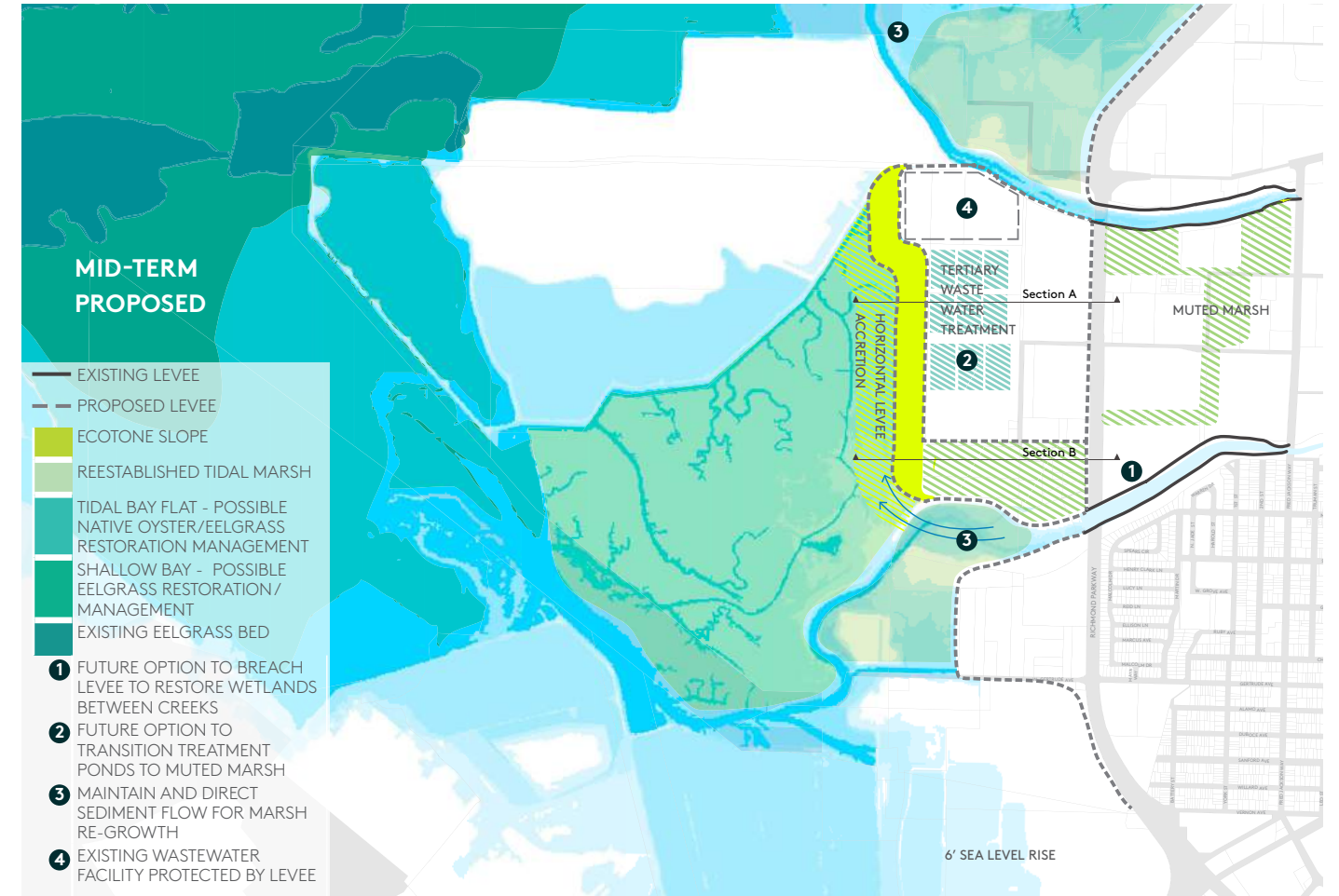
0 MUTED MARSH
brackish water behind tidal gates at Parkway

BAY MEETS WILDCAT CREEK

An Adaptable System

Flood control in North Richmond, like many coastal communities in the Bay Area, requires attention to sea level rise, storm surge and inland flooding. It is also a community that has experienced health impacts and environmental injustices with the location of multiple industrial and waste management systems nearby. The integrated approach to multi-benefit flood control produces a hybrid ecological system that uses tidal and

sub-tidal vegetation as an integral part of the water treatment system, while creeks and riparian habitat support the flow of sediment to build up a healthy marshplain and sustain it. Additional water flows from the pumping systems provide a necessary service to keep low lying areas from flooding while producing a valuable resource to irrigate the adjacent urban forest, agriculture and nurseries. Household and green debris from North Richmond forests will be treated locally by Republic Services to create valuable compost for the



MID-TERM PROPOSED

- EXISTING LEVEE
- - PROPOSED LEVEE
- ECOTONE SLOPE
- REESTABLISHED TIDAL MARSH
- TIDAL BAY FLAT - POSSIBLE NATIVE OYSTER/EELGRASS RESTORATION MANAGEMENT
- SHALLOW BAY - POSSIBLE EELGRASS RESTORATION/MANAGEMENT
- EXISTING EELGRASS BED
- 1** FUTURE OPTION TO BREACH LEVEE TO RESTORE WETLANDS BETWEEN CREEKS
- 2** FUTURE OPTION TO TRANSITION TREATMENT PONDS TO MUTED MARSH
- 3** MAINTAIN AND DIRECT SEDIMENT FLOW FOR MARSH RE-GROWTH
- 4** EXISTING WASTEWATER FACILITY PROTECTED BY LEVEE

larger system. A beneficial circular economy is forming from input that was previously seen as waste.

This system will evolve and grow over time, to respond to the evolving sea level rise realities. The concept is intentionally developed with a "loose fit" that can accommodate change over time. Space between the levee and the parkway is a transitional zone that could accommodate an even larger levee in the future or could be part of an enlarged marsh in the future if land

use priorities shift and green infrastructure needs take priority in the longer-term future. Historically the creeks connected in this area. The levees along the creeks can be designed to allow for breaching in the longer-term future should a "grey to green" strategy be adopted. Allowing space for marsh and wetland between the creeks provides options for managing stormwater and upland flooding in the context of the dynamic conditions of climate change.



Many Champions

Anticipated project champions for the horizontal levee are County Supervisor John Gioia, and the Contra Costa Flood Control District in partnership with the West County Wastewater Facility. Funding sources could include Ducks Unlimited and California State Coastal Conservancy. County Supervisor John Gioia, City of Richmond Mayor Tom Butt and Assembly member Tony Thurmond are the elected officials that will potentially be supporting the project.

Community partners that would guide and implement the project include Urban Tilth and the Watershed Project. The design team would include Moffatt Nichol, Biohabitats, Mithun and geotechnical, structural, and regulatory and permitting consultants. Community support from San Pablo-Wildcat Creek Watershed Council, the North Richmond Municipal Advisory Committee will be important.

Potential funding sources include:

- State Coastal Conservancy Grants, funds from Prop 1, applications due June 8th. Topics include wetland restoration and urban greening, with priority for projects that benefit disadvantaged communities.
- FEMA for pump and outfall replacement costs. Funds requested could include a study as part of the water management plan that would leverage

“A lot of the marshes that characterize North Richmond are going to be lost to sea level rise. We are working with the community to look at places where the wildlife and the bird communities and other critters that rely on these marshlands can find places to escape to as sea level rises.”

—Josh Bradt, San Francisco Estuary Partnership, Resilient by Design Research Advisory Committee

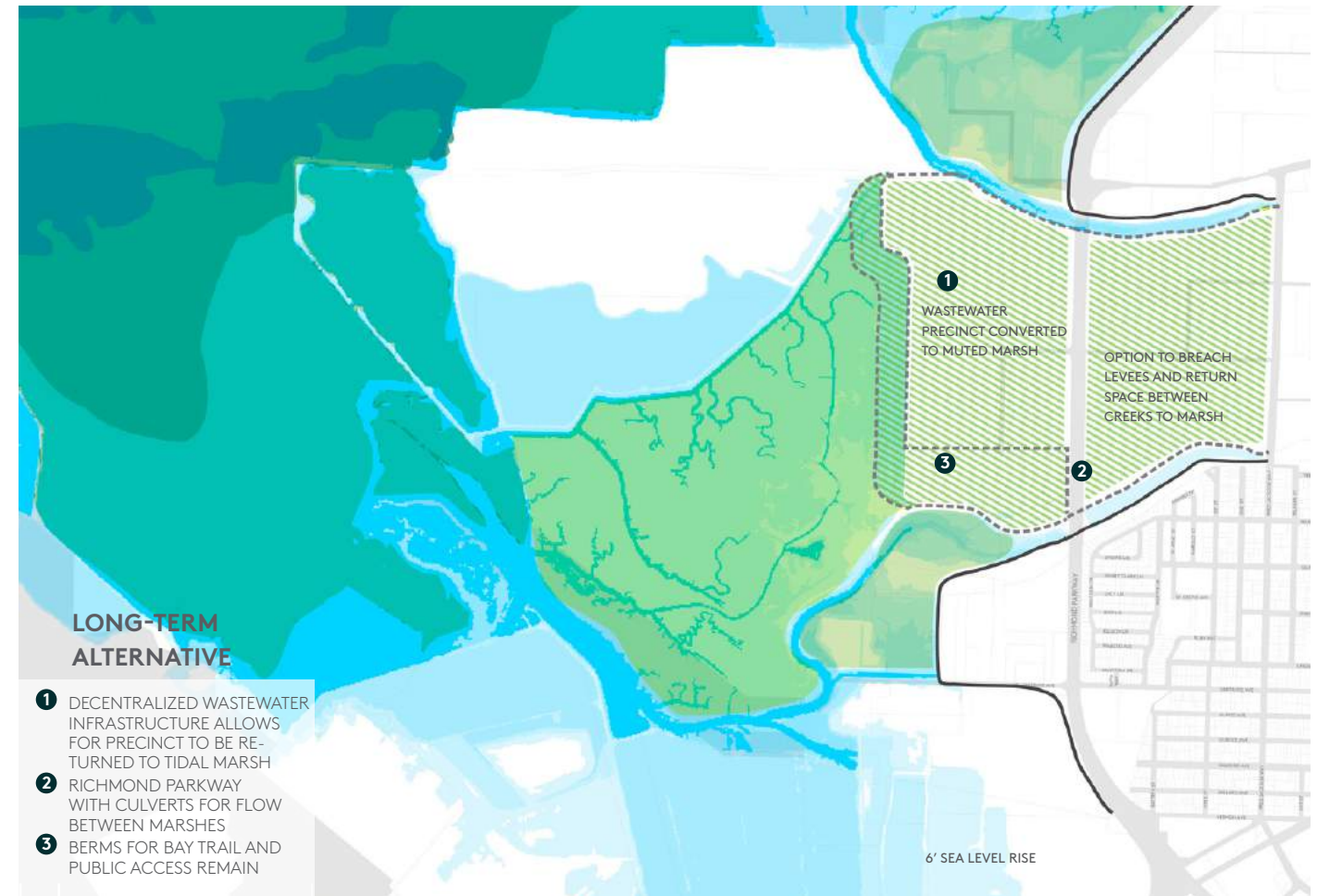
the cost to replace the pumping system and outfall for multiple functions beyond a direct, one-to-one replacement

- Prop 1 State Water Bond, total program is total is \$7.545 billion, funds watershed protection and restoration, integrated water management, flood management. Align with funding priorities including: \$1.495 billion for multi-benefit ecosystem and watershed protection and restoration projects; \$810 million integrated regional water management plan projects; \$725 million for water recycling and advanced water treatment technology projects; \$395 million for statewide flood management projects and activities.
- Measure AA Funds, \$25 million per year, distributed by SF Bay Restoration Authority (SFBRA) for restoration and flood protection in the nine-county Bay Area.
- SB5 Resources and Climate bond measure, up to \$440 million. Funds to improve the community’s ability to adapt to unavoidable impacts of climate change, improve and protect coastal and rural economies, agricultural viability, wildlife corridors, or habitat, develop future recreational opportunities, or enhance drought tolerance, landscape resilience and water retention.
- Ducks Unlimited, for muted marshlands.
- California Coastal Land Conservancy.

Prioritizing with an Integrated Water Plan

To avoid additional permitting in Bay water as sea level rises, decisions about this project need to happen sooner than may be assumed. Moffatt Nichol determined that based on current sea level rise predictions in the Bay Area the toe of the horizontal levee will begin to meet sea level rise plus king tides around 2040. Working backwards with a two-year construction period and the current eight-year permitting process means that a decision to proceed would need to happen within the next decade.

An integrated water management plan for the neighborhood is a next step that can help prioritize



implementation of related projects such as the reuse of greywater for irrigation of the levee and the specific locations of the horizontal levee and muted marsh.

A conceptual levee design project is another key step to build interest in future development of shoreline protection as a multi-benefit project. This project will bring together designers, technical experts and community representatives to scope out the location and extent of the future levee project so that potential synergies can be explored and future conflicts avoided.

The legacy of this project for the Bay Area will be a marsh ‘transition zone’ demonstration in one of the

most ecologically rich areas of the Bay, in one of the few remaining areas of the Bay that can incorporate a transition zone without major property disruptions.

Unique Conditions in the Bay Area

This shoreline is among the few around the Bay that can provide a marsh “transition zone.” In addition, a muted marsh can co-exist with the warehouse uses that are providing local jobs. The levee, which can take many forms, will protect multiple assets—the neighborhood, the Richmond Parkway, the wastewater facility, and industrial and farming lands that provide jobs and valuable marsh habitat.

SEE THE APPENDIX FOR A MEMO ON THE BENEFITS OF DECENTRALIZED WASTEWATER TREATMENT BY BIOHABITATS.





Relate: Wildcat Creek Trail, an Upland to Bayland Connector

74

Wildcat Creek Trail is well-used and the focus of clean ups, restoration and positive memories from childhood for residents. However, the trail is not continuous—gaps limit opportunities for shoreline and upland access. Use is increasing. The Verde School—a local elementary school along the trail—is adding middle schoolers, a fish ladder along the creek is targeted for improvements and a “complete street” design for Rumrill Road will connect directly to BART one mile away and the new ferry terminal with 30-minute service to downtown. A pedestrian/bike overpass at Richmond Parkway will create a destination overlook and connection to the shore, the weekend flea market, the Bay Trail and Water Trail.

More Than a Trail

Much more than simply a connecting bridge that fills a gap in the trail, this multi-use overpass will help strengthen the identity of North Richmond. Visible to people throughout the region, the bridge will be a statement about North Richmond and celebrate the cultural history of an evolving community with a rich African American past. The design of the bridge must be exceptional to live up to the message that North Richmond wants to share a new narrative about itself—about self-determination, entrepreneurship and agency.

A Class I bike and pedestrian overpass will be 15-foot wide and have 17-foot clearance for the Richmond Parkway. Accessible ramps on either end will create a comfortable experience and dramatic views of San Pablo Bay and the marsh. Environmental agreements were reached in 2007 regarding an alignment for the bridge. Maintenance and ownership agreements between public agencies have been substantially worked out.

At the east landing of the bridge, a community gathering space could serve as a picnic spot along the

“The bridge idea is so motivating because not only does it involve community development but also a connection to nature that a lot of people don’t know. People literally don’t know that the shoreline is there.”

—Sara Gurdian, student intern for the Watershed Project

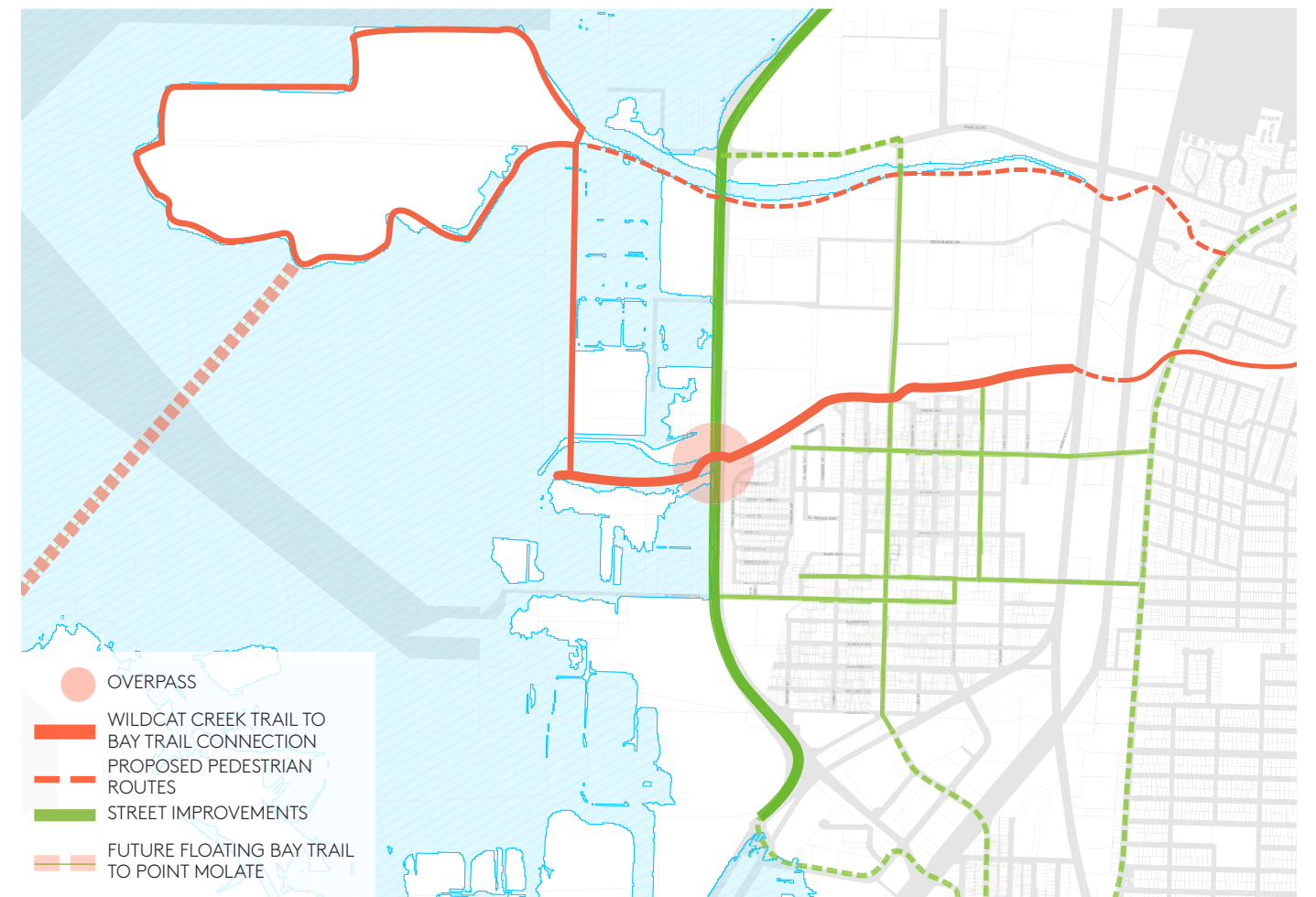
“I went to Verde School. I played in the creeks. But as a kid, I didn’t know what I was playing in. We was kind of like oblivious to the fact we actually had this nature in our backyard.”

—Courtney Moore, Urban Tilth, Watershed Program Manager

creek and a way to visit with people coming and going to and from the marsh. Willow groves can provide shade and picnicking. Oak nurseries are a testing ground for hybrid species that are adapting to changing temperatures and wetter and drier seasons. And on the bay side of the bridge, trails will be connected and a floating trail will be built out into the marsh to offer visitors an experience of immersion in that unique environment.

Health Benefits of Nature

Wildcat Creek Trail is an important community asset that will see increased use with the addition of middle schoolers to the Verde School. The trail is representative of many creeks that connect baylands to uplands around the Bay. It changes in character as it moves through forest, agriculture, neighborhoods and urban areas. Its location immediately adjacent to so many residents, having a high sediment load, connecting to the regional Bay Trail and being a salmon-bearing creek make it particularly well suited as a focus for the Bay Area Challenge because this is a replicable project.



A key opportunity for the Bay Area is to acknowledge the isolated and neglected neighborhoods that have strong cultures and leadership but have not been celebrated for their unique contribution. A pedestrian overpass with a strong cultural message will celebrate this contribution. By also providing redundant trail systems throughout the neighborhood, this gap closure project for the region also serves to create trail continuity that support multi-modal commuting, recreation and physical health that supports social cohesion, mental health restoration and growing Bay stewards into future generations.

This overpass will also play a key role in reducing reliance on the automobile by providing a convenient bicycle and pedestrian connection to the Bay Trail, an extremely popular flea market, and the new Richmond ferry terminal with a 30-minute ride to downtown San Francisco. As new housing is developed in North Richmond it will be increasingly important to have strong bicycle and pedestrian connections to reduce vehicle trips. The alternative, a signalized intersection, would impact traffic flow and increase diesel emissions from idling at the intersection.

Bay Trail and East Bay Regional Parks District

The project champion of this idea is the North Richmond Community Advisory Board, which includes residents as well as the East Bay Parks District, the City of Richmond Mayor’s Office and County Supervisor John Gioia’s office. We will be requesting that the North Richmond MAC, Contra Costa Public Works, and Bay and Water Trails support this proposal as key project partners.

To advance this idea the design team would work collaboratively with local organizations such as the Watershed Project and/or Urban Tilth to conduct a community driven design process. The design team would include Mithun, Alta Transportation, and local geotechnical, lighting, structural and civil engineers.

Source of funds to explore:

- Recommendations from Lee Ho of the Bay Trail include pursuing Measure AA funds through the Restoration Authority (\$25 million per year), and partnering with The California Outdoor Engagement Coalition.

- Recommendations from Jessica Davenport of the Coastal Conservancy include working with Marilyn Latta at the Coastal Conservancy to develop a proposal for the SF Bay Restoration Authority, which is a grant maker for measure AA funds.
- SB1: Gas tax increase to support state roadway improvements, \$5 billion per year.
- MTC: Public transit and transportation, \$1.5 billion per year. Includes active transportation funding to support street upgrades, bike paths and pedestrian trails.
- SB 595: Increase to bridge tolls (+\$3), estimated at \$4.45 billion over 25 yrs. This will be voted on as regional Measure 3 in the next election. Toll revenue will be used for transportation enhancements in the Bay Area.
- Cap and Trade, estimated at \$2 billion per year. Align with AB398 which outlines funding priorities including—(1) air toxic and criteria air pollutants from stationary and mobile sources, (2) low- and zero-carbon transportation alternatives, (3) sustainable

“I used to be so scared of animals, trees and being out in the forest and stuff. I used to be so scared but once I got out there it was so calm and relaxing. It definitely gives my whole family something to do. My kids can go out there and play and they get to be out in the wild and have fun. A connection is important for our community because we don’t get to see that every day. We’re blocked from it. It’s taken away with no means or no way of getting there. Opening up the connection will bring more people together.”

—Princess Robinson, Urban Tilth Community Engagement Manager

- agricultural practices that promote the transitions to clean technology, water efficiency, and improved air quality, (4) healthy forests and urban greening, (5) short-lived climate pollutants, (6) climate adaptation and resiliency, and (7) climate and clean energy research. Note: this could be a part of a larger grant including other projects and green mitigation fund.
- Land and Water Conservation Fund (LWCF) grants provide funding for the acquisition or development of land to create new outdoor recreation opportunities, grants up to \$3 million.
- Active Transportation Planning and Safe Routes to School grants.
- Other sources of funding could include North Richmond Green Mitigation Fund.

Next Steps for Wildcat Creek Trail Overpass

The next step is to identify funds to support the development of grant proposals for the connector and floating trail. The Bay Trail or the Coastal Conservancy may be a source, or possibly the West County Wastewater Treatment facility.

Next, a concept design would be developed using community driven design process that includes evaluating the existing site conditions; developing goals and objectives for the project with the community and project sponsors; building criteria with the community and public agencies to evaluate design options; identifying the preferred design direction; complete the design; and developing benchmarks for health and performance that can be tracked over time.

Most Unique Feature

Turning barriers and historic isolation of the community into opportunities to create shoreline access to future destinations also has potential to grow personal health and connection with stewardship of the Bay.

“The Verde School will be extended to the 8th grade so there will be a lot more kids and teenagers. To go for a walk on these trails people could take their mind off things, it would be great for relaxation. North Richmond can be a city just like any other—safe, calm and a nice place to take a walk.”

—Regina Cuevas, North Richmond resident, Verde School parent and Watershed Project Block Ambassador

HIDDEN HABITATS:



CLAPPER RAIL



SALT HARVEST MOUSE



EEL GRASS



PACIFIC HERRING



MIGRATORY BIRDS



OYSTERS





Green Benefits District: A Tool for Restorative Justice

A Green Benefits District (GBD) will enable North Richmond to invest in green infrastructure solutions that provide career and job opportunities, reduce health impacts on residents from harmful emissions and begin to offset decades of under-investment in infrastructure, while also improving the ecological health of the bay. The GBD will collect funding from three key sources – first, mitigation funding from state and federal funding sources for environmental remediation and second, redirect County funds by streamlining waste and water programs and third, collect impact fees from new commercial and industrial development. As a fence-line community that has experienced long-term impacts of chemical emission from adjacent refineries, factories, and waste and recycling centers, diesel emissions from the Richmond Parkway, an active trucking route, North Richmond residents deserve an equitable alternative. GBD projects will support community greening goals and protect public health. This fund will indirectly support the development of affordable housing by removing some of the current disincentives to investment in the community.

Policies and Community Infrastructure

Green Benefits Fund: A new policy tool is envisioned for collecting funds from polluting industries, utilities with a record of delayed maintenance, and/or state and federal funds that pool resources to mitigate indirect impacts, to shift the cost burden for mitigations away from those who have been most impacted. For example, the policy would include a mechanism to direct a portion of gas tax funds to communities bordering major roadways, for the purpose of paying for measures that reduce resident’s exposure to diesel exhaust. Finally, the fund would include impact fees for regional users, new commercial and industrial

development, and some existing commercial and industrial development. In cases where the impacts are the legacy of earlier adjacent polluting uses, EPA brownfield funding will be pursued.

Resilience Hub: The proposed hub is a community space to offer services including disaster preparedness, home ownership financing, details on energy and water efficiency retrofit programs, renewable energy financing and incentives, electric car and bike sharing programs, small business startup support, etc. Given past challenges with local hire provisions in the area, a local non-profit CDC would facilitate training, job placement and completion of required documentation to meet contracting requirements. The GBD would be a source of funding to support these programs.

Community Air Risk Evaluation Program: This program will develop mitigations and testing protocol to measure air quality over time, working closely with the criteria established by the Air District’s Community Air Risk Evaluation (CARE) program that was developed to identify residential areas with high levels of risk from toxic air contaminants (TACs) and to use that information to help focus mitigation measures. According to the findings of the CARE Program, “diesel PM, mostly from on and off-road mobile sources, accounts for over 80 percent of the inhalation cancer risk from TACs in the Bay Area (Bay Area Air Quality Management District, Assessing and Mitigating Local Community Risk and Hazard Impacts, page 5-3).” Richmond is one of the priority areas identified as most highly impacted in the Bay Area.

Community Infrastructure: North Richmond infrastructure has suffered from decades of deferred maintenance and is in urgent need of investment to upgrade water piping, electrical grid infrastructure etc. The residents have been rate payers but have not received upgrades to basic infrastructure. Given the high levels of vacancy, new development will be returning the community to its previous occupancy levels, and will only add new density in the later phases of development.

Energy Grid Upgrade: The local electric grid faces many current limitations for North Richmond to reach

net zero energy and carbon goals. The current grid is already facing stability issues, resulting in power outages and inability to feed power from renewables back into the grid. Overall, the local utility grid is overdue for infrastructure upgrades and has been under-invested historically. Without upgrades, this is expected to get worse with time, since community electrical demand is expected to increase when fuel switching takes place, and as population densities increase. Grid upgrades are the responsibility of the utility, PG&E, and a productive conversation of upgrades that will be needed can be initiated once a master plan is developed. Advocacy organizations that may be helpful to North Richmond in negotiating a healthy and economically viable community include:

- TURN (The Utility Reform Network) advocates for reliable, safe, economical utility rates; see www.turn.org.
- Communities for Better a Environment advocates for environmental justice, clean energy and healthy communities; see www.cbecal.org.
- CEC Disadvantaged Communities Advisory Group: The California Energy Commission has set up a new advisory group this year that will take part in discussing how to make sure that benefits from grid upgrades will reach low-income communities.

Energy Storage: Energy storage can play more than one role. The storage allows continuous energy use during grid shutdowns, however energy storage also provides critical grid stability services by providing peak shaving. There may be an opportunity to partner with adjacent industrial users to bring the benefits of energy storage to North Richmond.

Decentralized Wastewater Pilot: Given the need for widespread investment and placemaking destinations in the neighborhood, the opportunity exists to develop innovative integrated water infrastructure systems that will pilot decentralized wastewater treatment and enable resource recovery of water and nutrients to support irrigation of trees, nurseries and agriculture. There is interest from private companies that specialize in developing “Living Machines” and have experience with becoming a utility district within a utility district in order to manage this unique system. Grant funding

will be pursued to support this work, as well as the attendant local jobs and research opportunities.

Job Opportunities and Lower Utility Costs

North Richmond residents have been paying a price for environmental burdens imposed by others. For example, the truck route along the Richmond Parkway serves the northern California economy, and yet it impacts the health of local residents with diesel emissions, cuts off the community from the bay, and creates a dangerous environment for children. Contaminated stormwater

“Putting trees and bio filtration together is going to be a real service to this community in terms of impacting heat islands and treating urban runoff through these old industrial areas that are heavily polluted with legacies of PCB’s in them, so this is really a hotspot for those kinds of approaches.”

—Josh Bradt, San Francisco Estuary Partnership, Resilient by Design Research Advisory Committee

flows from upland industrial and rail uses, and adjacent industry also contributes to air emissions. This fence-line community is highly impacted and the health impacts are well documented.

The proposed mitigations will support the development of green infrastructure using tree planting and bioswales to filter air and water, as well as investment in widespread use of green technology for renewable energy, electric cars, integrated water treatment systems, etc. Combined, these strategies will contribute to greater health and well-being, more affordable living, and the future identity of North Richmond as a place of innovation and an engine of the restoration economy.

“We are a frontline community...with (high) asthma toll rates. Planting more trees will help and create better air quality for everyone, not just us, but everyone.”

—Courtney Moore, Urban Tilth, Watershed Program Manager;

Direct Benefits to Successful Community Programs

The North Richmond Community Advisory Board, which includes residents as well as representatives from the City of Richmond Mayor’s Office and County Supervisor John Gioia’s office are in support of this proposal. The Watershed Project and the Contra Costa County Flood Control District have been active in developing the conceptual framework for a green benefits district, emphasizing the need to gather funding from those that have generated the impacts, not from the impacted residential community.

Urban Tilth and the Watershed Project have expertise, as demonstrated from the Richmond Greenway project, in designing and implementing large-scale green infrastructure projects with community input and local hiring. The Trust for Public Land has played a key role in recent green infrastructure and parks projects in Richmond and North Richmond and is a likely partner here as well.

The sources of funding to be pursued include the following: gas tax, MTC, BAAQMD air quality mitigation funds, EPA Brownfield funding, California cap-and-trade funds, water bond, etc. Given that the Richmond Parkway and the rail lines to the east pass through North Richmond to serve the greater California economy, it is essential that the pool of funding supporting the Green Benefits District include resources outside of the local impacted area. Impact fees on local industrial uses can be a part of the funding but should not bear the full cost. Grant programs for early project development include the following:

- **AB 617 Community Air Protection Program (CAPP)**, \$250 million in first year for "targeted incentive funding for early actions"—\$50M of this for the SF Bay Area. Funds for the deployment of community air monitoring campaigns and/or preparation of community emissions reduction programs to reduce emissions and exposure. This will include communities around the State with the highest cumulative exposure burden for criteria pollutants and toxic air contaminants. The law establishes several criteria for community selection, including prioritization of disadvantaged communities and sensitive receptor locations.
- **AB398 California Global Warming Solutions Act**, \$2 billion per year, which outlines cap and trade funding priorities including—(1) air toxic and criteria air pollutants from stationary and mobile sources, (2) low- and zero-carbon transportation alternatives, (3) sustainable agricultural practices that promote the transitions to clean technology, water efficiency, and improved air quality, (4) healthy forests and urban greening, (5) short-lived climate pollutants, (6) climate adaptation and resiliency, and (7) climate and clean energy research.
- **Prop 1 State Water Bond**, includes \$725 million for water recycling and advanced water treatment technology projects.

Next Steps for Green Benefits District

Develop the legal framework: A legal team will be formed to create the Green Benefits District for North Richmond, with participation from local government and community representatives as stakeholders. The Trust for Public Land and the Contra Costa County department of public health are likely partners to lead this effort.

Resilience Hub Pilot—Identify temporary location for a Resilience Hub to support local hiring, job training and home ownership support. CHDC in North Richmond provides home ownership counseling and is a likely partner for expanding upon those offerings.

Urban Greening Mitigations—Work with a community driven process in collaboration with the Watershed Project and/or Urban Tilth to develop a comprehensive

urban greening plan, including ecological buffer zones along the Richmond Parkway, between residential and industrial uses, and tree planting throughout the neighborhood. Tree planting areas will be developed as multi-benefit systems to address air quality, stormwater filtration, and heat reduction, as well as biological diversity and ecosystem health. Street tree and street reorganizations will be considered, particularly for key pedestrian and bike routes. These will be documented as part of a future specific plan described in the “Thrive” proposal. BAAQMD and the Public Health experts from Contra Costa County and the City of Richmond will be consulted throughout this process. Use equity framework plan criteria established by the community advisory board or North Richmond MAC to evaluate each stage of the project planning and implementation.

“On a national scale asthma is at 7% but in Richmond it’s at 17%. 17% of folks in Richmond got asthma.”

—Ladamien Flowers, Safe Return Project, North Richmond resident

Community Infrastructure Mitigations—Work with Contra Costa County Sustainability team and community representatives, to identify and prioritize infrastructure upgrades with a focus on making the case for utility investment in electrical grid upgrades, and leveraging private investment for decentralized wastewater treatment. Explore potential for funding from state bonds or cap and trade funds to support innovative net zero and low carbon strategies, and to incentive utility upgrades.

Turning Air Quality Around

Shifting the burden of payment for mitigations away from the under-invested low-income community. The “Ditching Dirty Diesel Collaborative” is an example of a similar effort during the Plan Bay Area EIR process to create a mitigation fund based on diesel truck emissions to benefit low-income communities of color near active trucking routes.



Prototypes for Testing Habitat and Habitation

86

The design process led to a series of prototypes which address distinct conditions along the dynamic Bay edge, including intertidal zones, mudflats and historic baylands. The prototypes will **test components that constitute hybrid models of housing and ecology (Habitat + Habitation)** in support of the design proposals put forward by the Home Team for North Richmond. The prototypes will serve two main functions in the design process: enhancing community engagement and excitement through building a tangible project and, secondly, providing a research platform that will inform evidence-based design of resilient ecological infrastructure appropriate to the Bay Area environment going forward.

- Floating Wetland “Buoyant BioFilter”
- Creosote Piling Encasement
- Piling Platforms

Floating Wetland “Buoyant BioFilter”

The constructed floating wetland system provides critical new marshland and intertidal zone habitat, improves water quality by making use of indigenous aquatic plants and natural processes to remove the contaminants from bay waters, particularly industrial effluent and stormwater outfalls from urban streets. The constructed floating wetland system prototype is designed as a constitutive element that incorporates into the Filter, Grow and Thrive Home Team Resilience Projects by:

- Advancing the horizontal levee and living-system wastewater treatment facility; floating trails habitat enhancement,
- Providing opportunity for new green-infrastructure job creation (maintenance and propagation and sale/export to other areas), and
- Constructing wetland flora suspended within a

buoyant concrete hexagonal frame and hydrophilic soil media within a mesh enclosure.

- Design feedback received has included: State Coastal Conservancy, BioHabitats, Watershed Project.
- Possible Site Support: Point San Pablo Harbor

Creosote Piling Encasement

There are more than 33,000 existing creosote pilings currently polluting the San Francisco Bay, and while various agencies are working to remediate these ecological habitats by removing the pilings, there are challenges to remove them entirely. Therefore, the Coastal Conservancy has identified the need for alternative, immediate measures to mitigate the negative impacts of these polluting pilings, particularly the habitat and egg-laying environment for pacific herring. The Home Team’s design is an innovative, adaptive response that not only encases the creosote piling for mitigation, but also improves the local ecological conditions through biomimetic materials and form.

The creosote piling adaptation prototype is designed as a constitutive element that incorporates into the Filter, Relate and Flow Home Team Resilience Projects. Specifically, it is intended to become the structural member for the floating trail and other recreation (Bay and Water Trail) projects and:

- Advances the immediate engagement with degraded historic infrastructure that may be transformed for new programming along the bay edge, and
- Provides opportunity for new green-infrastructure job creation (installation, observation and maintenance including replication to other areas).
- Existing pilings are wrapped in a customized fabric formwork and filled with a specialized concrete mixture which creates increased surface area, small nooks and crannies and enhanced porosity—all design features that facilitate the formation of restored habitat for a variety of keystone species, particularly the pacific herring.
- Design Feedback received has included: State Coastal Conservancy, BioHabitats, Water Trail, East Bay Regional Park District, Watershed Project, Contra Costa Resource Conservation District

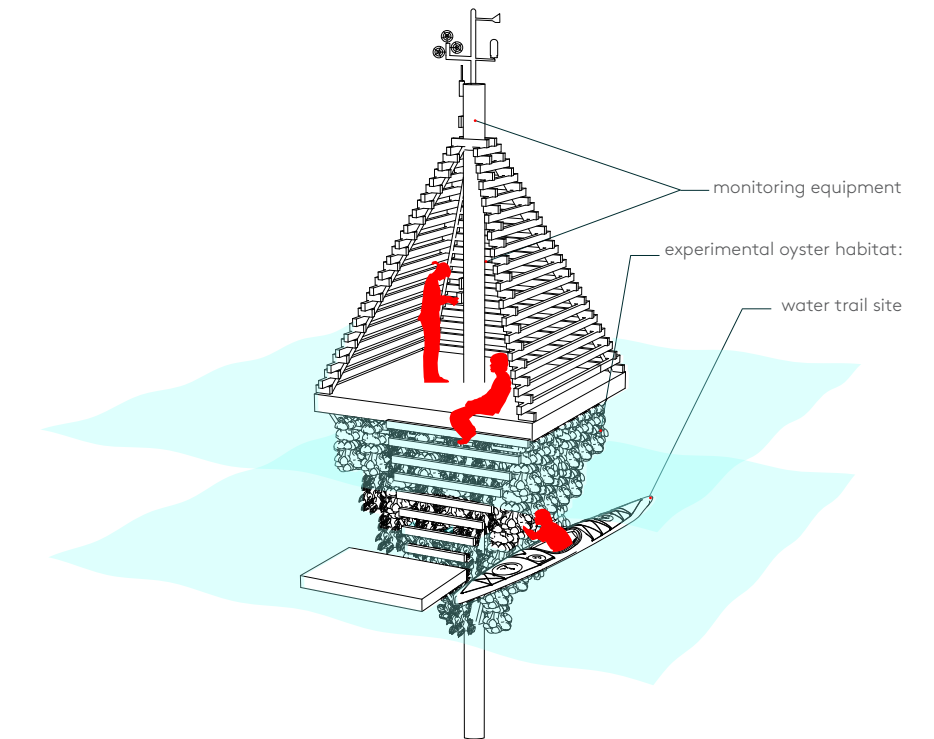
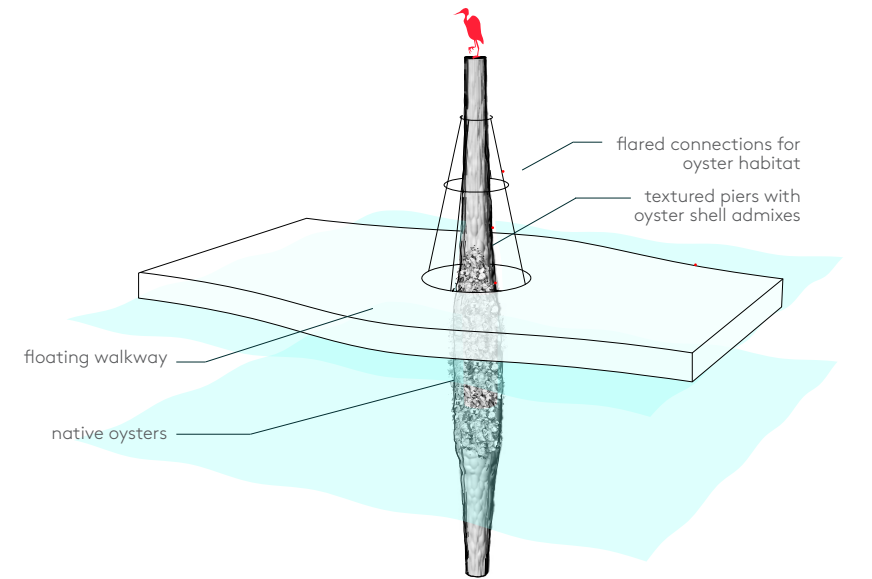
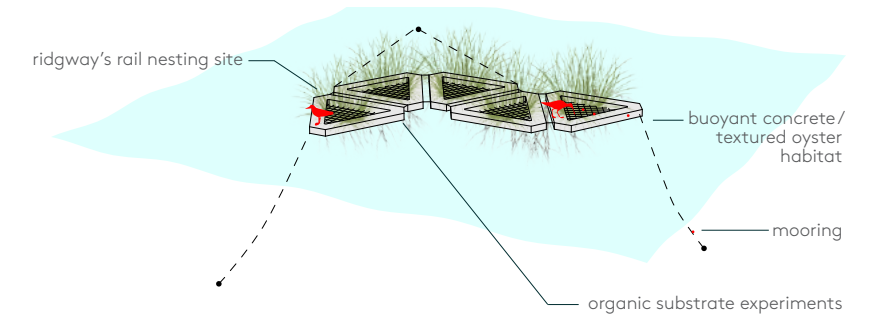
Possible Site Support: State Coastal Conservancy

Piling Platforms

Piling platforms are built on and around structural pilings in aquatic and intertidal environments. Development in current Bay edge conditions, and those that will be subject to inundation due to sea level rise will require structural pilings. The habitat dimensions of these human-made structures is an area that requires significant study. The piling platforms prototype is designed to explore implications for sub-tidal, tidal, and non-aqueous habitat for piling structures, while also integrating human use. The piling platforms prototype is designed as a constitutive element that incorporates into the Flow/Relate, and Thrive Home Team Resilience Projects that:

- Advances the immediate engagement with Bay edge development areas, and those subject to inundation in the future, including floating trail, piling for housing structures within muted marsh,
- Provides opportunity for new green-infrastructure job creation (installation, observation and maintenance including replication to other areas), and
- Is constructed of new steel piling, locally milled heavy timber members, steel and oyster shells (media for new habitat).
- Design Feedback received has included: State Coastal Conservancy, BioHabitats, Water Trail, East Bay Regional Park District, Watershed Project, Contra Costa Resource Conservation District

Possible Site Support: Point San Pablo Harbor, State Coastal Conservancy



87



**FLOATING TRAIL
& PROTOTYPES**

RESILIENT BY DESIGN: MITHUN HOME TEAM FINAL REPORT

Design Alternatives Explored

90

Design alternatives were part of the discussions with community advisory board members and other agency stakeholders.

Thrive

Explored housing and social gathering space at Grove and Garamita where there is a large lot mid-way between the school and park that could be a site for infill housing, a public space and resilience hub. Garamita is a Safe Routes to School street that has Block Ambassadors that keep it clean and know their neighbors. This street will be a priority street within the 'FILTER' project—trees and raingardens to improve the pedestrian experience and capture localized stormwater.

Considered exploring housing redevelopment plan for Las Deltas with district scale water and energy strategies that would mitigate climate change impacts and support an 'adapt-in-place' strategy for low-income residents who want to stay in the community. A community process regarding Las Deltas was just getting underway when we started the design phase. The County and CHDC is interested in having the Mithun Home Team continue to work with the community on this large-scale housing redevelopment plan.

Relate

Explored improving the existing pedestrian underpass to allow wider flow zone. Even at low flow and in relation to current sea level, there is limited head room under the Parkway.

Considered exploration of east end Wildcat Creek Trail connections to Rumrill Road, a future complete street that has direct access to ferry and BART.

This part of the trail is used by people experiencing homelessness. There is a recurring issue with trash that is generated by the encampment getting into the creek. The Watershed Project runs programs that hire the people living in the encampment to manage the trash. Part of an integrated water plan could include redirecting County program funds for creek cleanups to expand the local hire program.

Filter

Explored social gathering for tree plantings in conjunction with nurseries or temporary tree installations.

Considered phytoremediation strategies for contaminated lands. Determined that timeframe would be difficult to explore to a level we were confident about. The City considers this an important strategy to revisit as part of the "FILTER" approach.

Flow and Grow

Explored how creeks could have space to rebraid in the space between the two creeks. This would be more effective ecologically but economically the community and the County do not want to lose local job commitments from the planned distribution centers there.

91

Explored an option to bring horizontal levee east of Richmond Parkway between the two creeks and along Fred Jackson Way. The Parkway would be retrofitted with culverts to allow marsh transition to occur in free flow of tides and rising sea levels. Provides more marsh transition zone in an ecologically important location and in a rare place with both high sediment flow and space to provide transition. Would need to shift the flow line of the Wildcat Creek to make space for levee and not remove housing.

Process

The following are process approaches that were originally targeted but not realized. They remain relevant and can be implemented in the evolution of the proposed projects.

Ground truthing racial history context with community. As part of establishing a process for the Heritage Walk—recognizing places of cultural history and community leaders of North Richmond—the ground truthing of the racial history developed by Streetwyze with the community would provide a context for the discussions.

Building equity framework plan with community. Draft feedback on a proposed set of principles and criteria was obtained from the community advisory board at the first meeting. As discussed at that time, the equity framework plan development best evolves

through the organization that will be evaluating the projects—such as the North Richmond Municipal Advisory Committee. A May 22nd community advisory board meeting discussed what form the community feels is most appropriate for next steps toward monitoring these projects. One option is to use the Ecodistricts Protocol, which is a roadmap and metrics to link, leverage and track performance of multiple projects and programs that are happening throughout the community and their synergies. Technical assistance through the Ecodistricts organization provides neighborhoods with a learning community of other neighborhoods to develop and advance their ideas.

Streetwyze. This online platform, founded and owned by black and women entrepreneurs in the East Bay, was introduced to more than 40 local community members during the design process, including project managers with the Watershed Project. These people populated a map of the neighborhood with places of value, opportunities and challenges, as well as locations of regular flooding. An interactive tool that allows community members to communicate with broader data information, this tool is still open and available for use by the community through the Streetwyze website. It is targeted to become an app available in the future.

Finance Plan

Bay Area RBD | Home Team Benefits Evaluation & Funding Alignment Approach

In close coordination with North Richmond community stakeholders, the Home Team has developed a series of initiatives, including investments in sea level rise adaptation, infrastructure and community-supportive programs, that respond to local needs and create new opportunities for local and regional residents and stakeholders. The initiatives that make up the ouR-HOME project address a series of environmental, social and physical vulnerabilities while also celebrating local context, elevating North Richmond's history and current community, tapping into existing opportunities within the community, and creating new opportunities to drive multiple local benefits.

Rather than utilizing the traditional value capture approach—which prioritizes the generation of new opportunities to investment and development, and captures the economic and fiscal benefits of increased value associated with these investments—the Mithun Home Team developed interventions that seek to stabilize the existing community, provide tools for local wealth building and catalyze locally-concentrated economic activity. Our approach to initiative development was shaped by a benefits assessment methodology that identifies and positions individual projects and initiatives to deliver community priorities and environmental, social and economic benefits. Taken together, the team's initiatives simultaneously prioritize physical resilience and goals around building health, wealth, and social cohesion in this community.

Benefits Evaluation & Funding Alignment

To articulate the benefits associated with the core projects and draw an alignment to the most promising funding sources, the Home Team followed the below process for each project:

- i. Evaluate specific **benefits** that may accrue to the community based on project implementation, considering ecological and environmental, social and economic benefits.
- ii. Assess potential **project champions and implementation partners** from local, regional and state organizations, governments and non-governmental actors, based on the alignment of their missions and goals, and interest and involvement in project development throughout the Resilient by Design process.
- iii. Compare and evaluate benefit types and project champions and partners with the most well-aligned public, private, and philanthropic **funding sources and financing tools**. Because each project initiative is a piece of the Home Team's full resilience strategy for North Richmond, the focus of ouR-HOME is not on near- and long-term actions but on a more comprehensive response to a wide array of local issues. In many cases, project elements are cumulative and will evolve over many years in both parallel and incremental steps. Therefore, funding alignment was evaluated for pre-development activities and implementation activities, rather than for near- versus long-term opportunities.

While the individual initiatives require further development to produce cost estimates and progress analysis of a potential funding stack, the attached Benefits Matrix illustrates the alignment between benefits, project champions and/or partners, and funding and financing alignment for each proposed project. An illustrative example, using the Home Team's "Filter" initiative, is described below.

Challenge

North Richmond suffers from rates of asthma higher than those anywhere else in the Bay Area. Meetings with local stakeholders and the North Richmond Community Advisory Board demonstrated the community priority of addressing public health concerns with the goal of decreasing local asthma rates and avoiding future healthcare costs to treat associated impacts of poor air quality.

Initiative Development

This led to development of Filter: 20,000 Trees of Justice, which seeks to plant 20,000 trees throughout underutilized and vacant lots in North Richmond, creating an "urban forest" and including associated green infrastructure improvements.

Benefits Evaluation

Based on the team's assessment of this initiative, Filter is anticipated to produce the following benefits (for example):

—Ecological Benefits

- » Climate adaptation benefits, including stormwater management, and temperature moderation
- » Restoration of natural habitat through planting of local species

—Social Benefits

- » Reduced instance/rate of asthma and other ailments related to poor air quality
- » Increased access to nature/urban forest

—Economic Benefits

- » Future avoided costs associated with enhanced stormwater management capacity and temperature moderation
- » Future healthcare and social welfare cost savings

Potential Project Champions & Partners

In recognition of Chevron's historic role in degrading air quality and their more recent commitment to local philanthropy, the Home Team proposes that Chevron play an active role in funding Filter. Partially funding Filter would provide some of the capital costs needed for project initiative, while also off-setting some of the refinery's cap-and-trade costs. Recognizing that this single source may not fulfill the full project cost need, the team recommends exploring the following additional funding and financing sources to support project predevelopment (including final planning and design) and implementation:

—Predevelopment Planning & Design

- » Local funding for infrastructure development (ex: Contra Costa County budget)
- » Philanthropic grants (ex: Trust for Public Land conservation funds, Chevron Corporate Responsibility grant)

—Implementation

- » Local funding for infrastructure development (ex: Contra Costa County budget)
- » State/local grant funding (ex: Grant of Measure AA funds, CA State Coastal Conservancy Climate Ready Grant)
- » Value Capture through Cap and Trade Auction Investments
- » State/local bond issuance (ex: Prop 1 State Water Bond, SB5 Resources and Climate bond)
- » Social impact bonds (may be tied to improved health conditions)
- » North Richmond Green Mitigation Fund (as proposed by Home Team)

This example is illustrative of the Home Team's implementation and finance plan development process. The outcomes of this process for all projects is captured

FILTER: 20,000 TREES OF JUSTICE

Project Components	Anticipated Benefits	Project Champions/Partners	Potential Funding Alignments
<p>Create an urban forest and natural air filter by planting 20,000 trees in streets, open spaces, and underutilized lots throughout North Richmond.</p>	<p>Ecological Benefits</p> <ul style="list-style-type: none"> — Enhanced air quality — Climate adaptation benefits, including stormwater management, temperature moderation, and others — Restoration of natural habitat through planting of local species <p>Social Benefits</p> <ul style="list-style-type: none"> — Reduced instance/rate of asthma and other ailments related to poor air quality — Increased access to nature/urban forest <p>Economic Benefits</p> <ul style="list-style-type: none"> — Future avoided costs associated with enhanced stormwater management capacity, temperature moderation, and other ecological benefits — Future healthcare cost savings — Future social welfare cost savings 	<p>Local/Grassroots Organizations</p> <ul style="list-style-type: none"> — West County Toxics Coalition — Urban Tilth — The Watershed ProjectCommunities for a Better Environment — East Bay Parks District <p>Local Government</p> <ul style="list-style-type: none"> — North Richmond Municipal Advisory Council — City of Richmond Mayor's Office — Contra Costa County Supervisor John Gioia <p>Regional/State Government</p> <ul style="list-style-type: none"> — Contra Costa Flood Control District <p>Regional/State Non-Government</p> <ul style="list-style-type: none"> — Communities for a Better Environment — West County Wastewater Facility — SF Bay Restoration Authority 	<p>Predevelopment Planning & Design</p> <ul style="list-style-type: none"> — Local funding for infrastructure development (ex: Contra Costa County budget) — Philanthropic grants (ex: Trust for Public Land conservation funds, Chevron Corporate Responsibility grant) <p>Implementation</p> <ul style="list-style-type: none"> — Local funding for infrastructure development (ex: Contra Costa County budget) — State/local grant funding (ex: Grant of Measure AA funds, CA State Coastal Conservancy Climate Ready Grant) — Value Capture through Cap and Trade Auction Investments — State/local bond issuance (ex: Prop 1 State Water Bond, SB5 Resources and Climate bond) — Social impact bonds (may be tied to improved health conditions) — North Richmond Green Mitigation Fund (as proposed by Home Team)

THRIVE: HOME OWNERSHIP AND AFFORDABLE LIVING AS A PATH FOR COMMUNITY WEALTH BUILDING

Project Components	Anticipated Benefits	Project Champions/Partners	Potential Funding Alignments
<ul style="list-style-type: none"> — Social Impact Bond (SIB) — Establish a Community Land Trust (CLT) to manage programs for, and develop: <ul style="list-style-type: none"> • Small Lot Home Ownership • Multi-family Housing with Shared Amenities — Resilience Hub — Walk of Honor — Programs: <ul style="list-style-type: none"> • Local Hiring Requirement • Deep Green Energy and Water Systems • Electric Vehicles and Car Share 	<p>Ecological Benefits</p> <ul style="list-style-type: none"> — Reduced energy and water consumption — Reduced vehicular emissions <p>Social Benefits</p> <ul style="list-style-type: none"> — Increased opportunity for local homeownership and equity-building, strengthening community stability — Increased social cohesion developed through shared housing/homeownership programs and recognition of local history — Increased financial literacy and support for homeowners — Education and increased awareness of local resiliency challenges and adaptation measures <p>Economic Benefits</p> <ul style="list-style-type: none"> — Local job generation (through construction, program management, etc.) — Local spending and economic output associated with construction and program management activities — Use of underutilized land, and associated local and regional fiscal benefits 	<p>Local/Grassroots Organizations</p> <ul style="list-style-type: none"> — Marin County Energy — Urban Tilth — Las Deltas Task Force <p>Local Government</p> <ul style="list-style-type: none"> — Contra Costa County Supervisor John Gioia — City of Richmond Mayor's Office — Contra Costa Housing Authority <p>Regional/State Government</p> <ul style="list-style-type: none"> — Marin Clean Energy — California Housing Development Corporation — Contra Costa County 	<p>Predevelopment Planning & Design</p> <ul style="list-style-type: none"> — Future implementation partner/actor fundraising — Program-related investments (ex: Kresge Foundation grants and social investments) — Predevelopment loan (ex: SB540: Workforce Opportunity Zone) — Federal tax incentive programs (ex: Opportunity Zone Program) <p>Implementation (Development Initiatives)</p> <ul style="list-style-type: none"> — Low-income housing tax credits (LIHTC), depending on project affordability — Local affordable housing funding (ex: Home Investment Partnerships Program) — North Richmond Affordable Housing Social Impact Bond (proposed by Home Team) — Mission or program-related investments — Local fundraising for Heritage Walk (through CAB or another local champion) <p>Implementation (Program Initiatives)</p> <ul style="list-style-type: none"> — North Richmond Affordable Housing Social Impact Bond (proposed by Home Team) — Property Assessed Clean Energy (PACE) loans — Low Interest Loans (ex: CA Energy Commission Energy Efficiency Financing Program) — PG&E Electric Vehicles Charge Network Program

RELATE: WILDCAT CREEK TRAIL: AN UPLAND TO BAYLAND CONNECTOR

Project Components	Anticipated Benefits	Project Champions/Partners	Potential Funding Alignments
A multi-use overpass to connect Wildcat Creek Trail and upland bay areas, providing a safe overpass of the Richmond Parkway.	<p>Social Benefits</p> <ul style="list-style-type: none"> — Increased connectivity and cohesion between the upland and bayfront areas, and creation of new open space, within North Richmond — Increased safety and avoided loss of life — New opportunities for recreation and education, related to local ecology and history <p>Economic Benefits</p> <ul style="list-style-type: none"> — Local job generation (through construction, program management, etc.) — Local spending and economic output associated with construction and ongoing O&M 	<p>Local/Grassroots Organizations</p> <ul style="list-style-type: none"> — East Bay Parks District — Bay and Water Trails — The Watershed Project — Urban Tilth <p>Local Government</p> <ul style="list-style-type: none"> — City of Richmond Mayor's Office — Contra Costa County Supervisor John Gioia — North Richmond Municipal Advisory Council — Contra Costa Public Works Department <p>Regional/State Government</p> <ul style="list-style-type: none"> — Metropolitan Transit Council <p>Regional/State Non-Government</p> <ul style="list-style-type: none"> — The California Outdoor Engagement Coalition — The Coastal Conservancy — California Restoration Authority — SF Bay Restoration Authority 	<p>Predevelopment Planning & Design</p> <ul style="list-style-type: none"> — Local funding for infrastructure planning and development — State and local grants (ex: Grant of Measure AA funds) — Philanthropic grants (ex: Land and Water Conservation Fund grants, Active Transportation/ Safe Routes to School) <p>Implementation (Development Initiatives)</p> <ul style="list-style-type: none"> — Local funding for infrastructure development — Federal grant funding (ex: TIGER grants) — Local/regional grant funding (ex: MTC) — Value Capture through Cap and Trade Auction Investments, SB595 toll revenue — Green Mitigation Fund (as proposed by Home Team)

GREEN MITIGATION FUND: A TOOL FOR RESTORATIVE JUSTICE

Project Components	Anticipated Benefits	Project Champions/Partners	Potential Funding Alignments
<ul style="list-style-type: none"> — Green Mitigation Fund — Community Air Risk Evaluation Program — Community Infrastructure — Energy Grid Upgrade — Energy Storage — Decentralized Wastewater Pilot 	<p>Ecological Benefits</p> <ul style="list-style-type: none"> — Enhanced air quality — Climate adaptation benefits, including decreased emissions, cleaner energy production <p>Social Benefits</p> <ul style="list-style-type: none"> — Improved community health — Potential job training and local employment opportunities <p>Economic Benefits</p> <ul style="list-style-type: none"> — Future avoided costs associated with electrical grid reinforcement, increased energy storage efficiencies — Local spending and economic output associated with construction of new infrastructure — New funding sources for local climate mitigation projects 	<p>Local/Grassroots Organizations</p> <ul style="list-style-type: none"> — The Watershed Project — Urban Tilth <p>Local Government</p> <ul style="list-style-type: none"> — City of Richmond Mayor's Office — Contra Costa County Supervisor John Gioia — Contra Costa County Flood Control District — Contra Costa Department of Public Health — North Richmond Municipal Advisory Council <p>Regional/State Government</p> <ul style="list-style-type: none"> — Metropolitan Transit Council <p>Regional/State Non-Government</p> <ul style="list-style-type: none"> — Bay Area Air Quality Management District 	<p>Predevelopment Planning & Design</p> <ul style="list-style-type: none"> — Local funding for infrastructure planning & development — Philanthropic grants for program development <p>Implementation (Development Initiatives)</p> <ul style="list-style-type: none"> — Local funding for infrastructure development — Grant funding (ex: BAAQMD Air Quality Mitigation Funds, EPA Brownfield Remediation funding, AB617 Community Air Protection Program) — State/Local Bond Issuance (ex: Prop 1 State Water Bonds, Value Capture through Cap and Trade Auction Investments) — Retrofit Loans — North Richmond Green Mitigation Fund (proposed by Home Team), supported by: <ul style="list-style-type: none"> •Corporate investments/contributions •Grant funding •Local/regional impact fees

FLOW AND GROW: INNOVATIVE MULTI-BENEFIT FLOOD CONTROL

Project Components	Anticipated Benefits	Project Champions/Partners	Potential Funding Alignments
A protective horizontal levee to protect critical infrastructure in the face of rising tides and storms while also providing new marshland acreage and a naturally occurring transition zone that combines flood control with a natural, low-energy way to provide tertiary treatment of wastewater.	<p>Ecological Benefits</p> <ul style="list-style-type: none"> — Climate adaptation benefits, including protection from rising tides and storm surges — Regeneration and protection of existing marshland habitat — An alternative to high-energy wastewater treatment <p>Social Benefits</p> <ul style="list-style-type: none"> — Fortified protection of critical assets from rising tides and storm surges <p>Economic Benefits</p> <ul style="list-style-type: none"> — Future avoided costs associated with sea level rise and storm surges 	<p>Local/Grassroots Organizations</p> <ul style="list-style-type: none"> — Ducks Unlimited — Urban Tilth — The Watershed Project — San Pablo-Wildcat Creek Watershed Council <p>Local Government</p> <ul style="list-style-type: none"> — Contra Costa County Supervisor John Gioia — Contra Costa Flood Control District — City of Richmond Mayor's Office — North Richmond Municipal Advisory Committee <p>Regional/State Government</p> <ul style="list-style-type: none"> — California State Coastal Conservancy — Senator Tony Thurmond — FEMA <p>Regional/State Non-Government</p> <ul style="list-style-type: none"> — SF Bay Restoration Authority — West County Wastewater Facility 	<p>Predevelopment Planning & Design</p> <ul style="list-style-type: none"> — Local funding for infrastructure planning and development — State/local grant funding (ex: Grant of Measure AA funds) — Philanthropic grants <p>Implementation (Development Initiatives)</p> <ul style="list-style-type: none"> — Federal funding (FEMA dollars for pump replacement) — State grants (ex: State Coastal Conservancy Grants) — Local/state bond issuance (ex: Prop 1 State Water Bonds, SB5 Resources and Climate bond) — Value Capture through Cap and Trade Auction Investments — Public-private partnership (with corporate participation in capital costs or ongoing O&M costs) — Catastrophe bonds and/or resilience bonds (depending on affected land ownership)

Governance and Regulatory Challenges and Opportunities

The Mithun Home Team project proposals were developed with broad participation by local stakeholders. The North Richmond Community Advisory Board (CAB) assembled to guide the design process was intentionally developed with a mix of representatives from different sectors, including Contra Costa County and the City of Richmond government, non-profit advocates, technical experts, business representatives and local residents. Given the process for generating design concepts, it is not surprising that the implementation plans envisioned are also leveraging collaborative governance models, engaging multiple layers of government together with community representatives and technical experts. Preliminary concepts exploring collaborative governance include the following:

Community Land Trust

The proposal to develop a community land trust (CLT) will require the development of new organizational structures that include public and private sector partners working together. The City of Richmond is interested in CLTs and will take the lead in exploring the legal structure that would support this, with Contra Costa County staff and community representatives participating as stakeholders. The city and county government representatives acknowledged that shared projects are not common, but that there is no history of difficulty working together. The parties are open to collaboration and see the benefit of greater partnership.

CLTs reflect a choice to stabilize the housing market in favor of slower, more predictable growth over dramatic swings in the market that create windfall profits for some and loss for others. While clear and equitable rules are needed to protect those that invest in housing

developed on CLT land, the structure also benefits from the social bonds in a community that cultivate trust and a sense of shared interest. City of Richmond representatives are eager to engage residents and ultimately transfer the control over the CLT process to a non-profit community-based board or coalition.

Social Impact Bond

Social impact bonds (SIB) are an investment product that brings together donors, impact investors and nonprofit organizations to fund socially beneficial projects in a completely new, performance-driven way. For example, SIBs provide investors an opportunity to fund a project by a non-profit housing developer, and earn a financial return based on "impact" measured against a set of established goals, such as affordability metrics and energy performance. Small local for-profit contractors could also be funded to build small lot infill housing depending on the performance criteria set. The governance challenge is complex because programs need to be clearly defined and conflicts of interest need to be avoided. However a benefit of community collaboration on the terms of the SIB is that the process itself would create benefits as more people would come to know about.

Transitioning Public Housing

North Richmond includes a public housing site called Las Deltas that is in the process of being decommissioned under a plan that will transfer 100% of the housing subsidy to units elsewhere in the county. After the transition is complete, housing will transfer either to private parties or to another supported affordable housing structure. There are provisions that enable residents to have first right of refusal for all sold properties, however they will need considerable funding to purchase even if the sale is subsidized.

Regulatory Challenges

Regulatory challenges arise when change occurs. Given the nature of the RbD process, it is not surprising that a number of regulatory challenges have been identified.

Green Mitigation Fund

The Green Mitigation Fund (GMF) is envisioned as a tool to support restorative justice. It is envisioned as a mechanism for collecting funds from polluting industries, and others such as utilities with a record of delayed maintenance, or state and/or federal funds that pool resources among a larger population for indirect impacts, to shift the cost burden for mitigations to those that have “benefited” from the condition. These kinds of funds are currently agreed upon as part of a community benefit agreement tied to approvals for construction or expansion of facilities, like the Waste and Recovery Mitigation Fee which levees an annual fee on the waste transfer station nearby to offset impacts to the community. While this case by case agreements are helpful, other sources could be identified that would be more reliable such as a linkage to the gas tax on diesel fuel.

Funding for Utility Upgrades

A related challenge includes funding for utility upgrades when there has been persistent under-investment and deferred maintenance that has led to a condition requiring a major upgrade. PG&E upgrades to the grid are expensive, and would unfairly burden the low-income community in North Richmond, however the community will not be able to participate in utility incentives for PV installations that rely on feeding back into the grid until repairs are made. The California Energy Commission has set up a new advisory group this year called the CEC Disadvantaged Communities Advisory Group that will take part in discussing how to make sure that benefits from grid upgrades will reach low-income communities. Membership in the advisory group has already been decided, however these committee meetings are usually open to stakeholders, who can engage through informing discussions and agenda items.

Decentralized Wastewater Treatment

Decentralized wastewater systems are emerging in some cities as an economically viable alternative to large centralized wastewater treatment systems, and could be explored in North Richmond. The advantages include reduced pumping requirements, and the opportunity to create systems that function more like a closed loop, capturing treated effluent, compost and nutrients for reuse locally for homes, urban farms and tree nurseries. In the past the Regional Water Quality Control Board (RWQCB) has frowned on decentralized wastewater systems because they don’t have the staff to monitor water quality on a regular basis at multiple facilities. One way to address this challenge is to partner with the West County Wastewater Facility at the remote sites, potentially engaging them to operate the plants or to coordinate oversight and testing procedures. Another option to explore is private management of a mini-utility district that is responsible for the management and monitoring of the system. This is happening in the City of San Francisco, there are pilots in other parts of California and Portland, Oregon’s 8th and Hassalo project is a prime example (See Appendix C for additional information).

Other Resource Recovery Opportunities

Local resource recovery can help build the local economy through the supply of cost-effective and conveniently located resources, while reducing environmental impacts from transporting materials. For example, local compost is currently trucked to the Central Valley, even though the material is in demand locally. Regulatory approvals are needed to gain permission to use compost that is generated from nearby facilities. And a fresh water pumping system is currently in place to keep the low-lying portion of North Richmond from flooding. This water could be recycled and used for agriculture or other uses, however water rights in California are complex. A process is needed to determine who “owns” the water that is discharged through pumping—East Bay MUD (municipal utility district) may or may not own the rights. If ownership and regulatory requirements can be clearly defined for reuse of water and compost these could be beneficial local resources.







Appendix

Appendix A: Team

North Richmond Community Advisory Board

APPENDIX A: TEAM

North Richmond Community Advisory Board
Mithun HOME Team
Additional Stakeholders / Outreach

APPENDIX B: PUBLIC EVENTS

Community Leadership Training: Streetwyze
North Richmond Earth Day Festival
Sea Leveling Rods Participatory Art Installation

APPENDIX C: SITE INFORMATION

Water Supply and Treatment Summary
Energy Efficiency and Renewables
Tidal Barrage System Analysis
Pump and outflow map
Housing Authority Contra Costa Housing property map
Contaminated land map
Air quality map
Vacant land map
Electric grid conditions
Standard trail dimensions, Class I trail

APPENDIX D: COMMUNITY ADVISORY BOARD

Formation Summary
Agendas
Meeting notes

APPENDIX E: EQUITY FRAMEWORK CRITERIA/DRAFT

APPENDIX F: PROTOTYPE RESEARCH

Research and Modeling with Laney College DigiFab Students
Biohabitats Prototype R+D
Floating & Aqueous Housing Analysis

Beth Williams	North Richmond Homeowner / Resident
Courtney Moore	Urban Tilth
Dr. Henry Clark	North Richmond Municipal Advisory Council
Heidi Nutters	(shared seat) San Francisco Estuary Partnership
Josh Bradt	(shared seat) San Francisco Estuary Partnership
John Steere	Contra Costa County Watershed Program, PWD
Juliana Gonzalez	The Watershed Project
Katrinka Ruk	Council of Industries
LeDamien Flowers	Safe Return Project / North Richmond Resident
Marena Brown	Shields Reid Neighborhood Council / North Richmond Resident
Nick Snyder	Tierra Resource Consultants / CCC Sustainability Commission
Paul R. Detjens	Contra Costa County Flood Control & Water Conservation District
Princess Robinson	Urban Tilth / North Richmond Resident
Regina Cuevas	TWP Block Ambassador / North Richmond Resident
Robert Rogers	Office of County Supervisor John Gioia
Sandra Hamlat	East Bay Regional Park District
Sara Guardian	The Watershed Project / North Richmond Resident
Sequoia Erasmus	Richmond Mayor's Office
Sherry Stanley	West County Wastewater District
Tania Pulido	Community Housing Development Center, North Richmond



Appendix B: Public Events

Community Leadership Training: Streetwyze

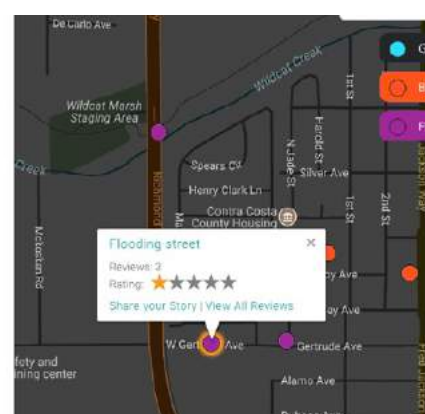
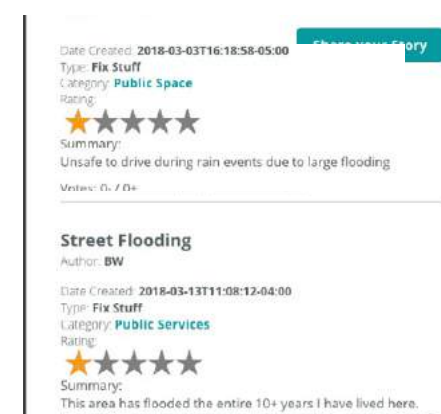
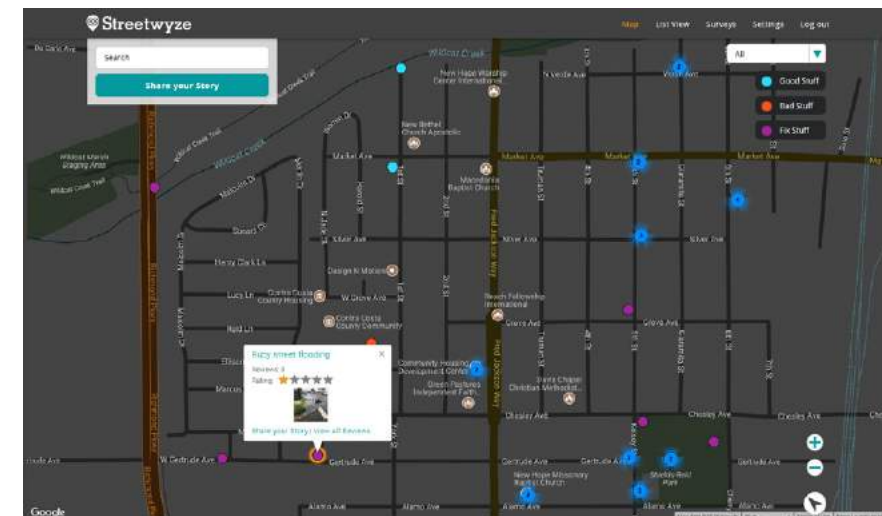
- Over 40 active users
- ~12 users have logged points
- ~45 data points

The following represent, in order of prevalence, the most common themes/areas that community members disliked or wanted to see improvements on:

- Flooding
- Illegal Dumping
- Vacant Lots
- Food Access
- Access to Point Molate

Community members identified the following as good things or community assets:

- Community Services/Resources: Community Centers and Churches
- Schools
- Gardens
- Parks and natural resources
- Food availability



North Richmond Earth Day Festival

Measure local flooding:
make and take your own
measuring stick

**Measure
photograph &
post**

with
**#ResilientNorthRichmond
#ResilientBay**



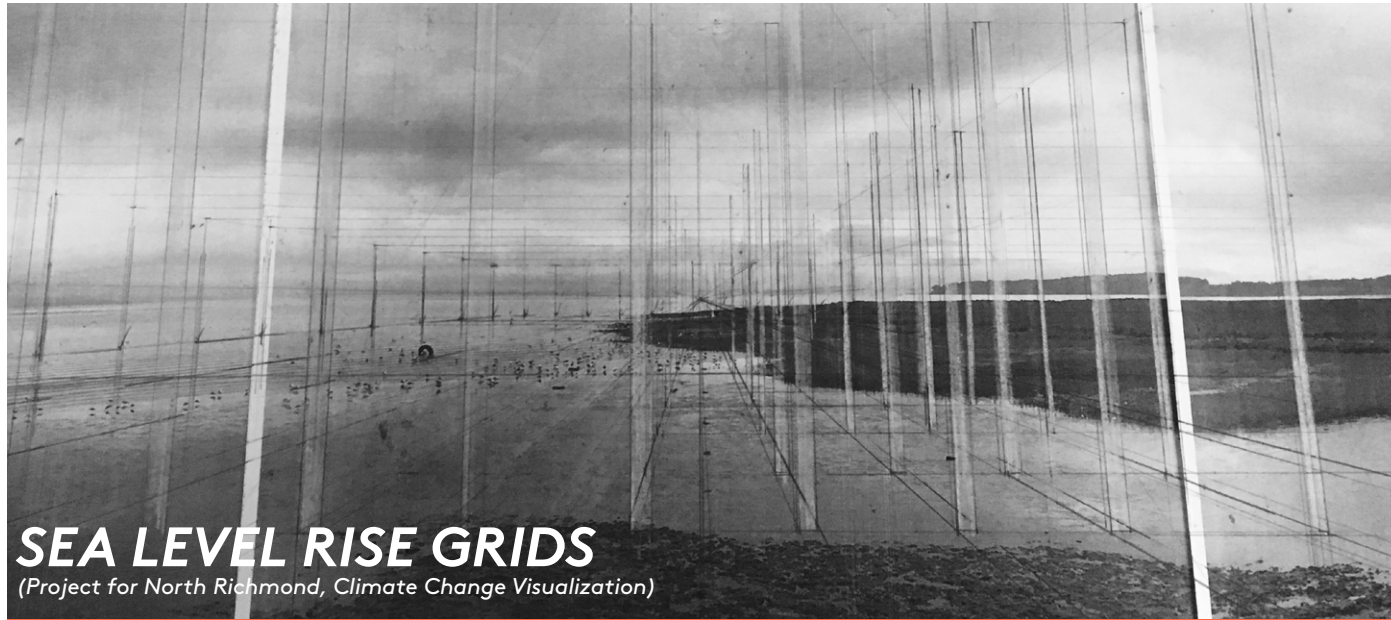

COME OUT TO THE BAY!

Help create a temporary art installation to illustrate sea level rise

Saturday, April 28 @ Dotson Family Marsh
details and sign-up sheet at the booth.




Sea Leveling Rods Participatory Art Installation



SEA LEVEL RISE GRIDS (Project for North Richmond, Climate Change Visualization)

is an art project and a community building first-response tool to visualize the effects of climate change in North Richmond. An array of rods is placed in the inter-tidal zone of the Bay to measure projected sea level rise due to global warming. The project gathers community to physically articulate change at scale: a co-operative exercise for appreciating the present while enabling dialogue about the future.

GET INVOLVED!

Building the project will be easy and fun. There will be dry land volunteer work as well as work in the inter-tidal edge of the water. Yup, in the Bay. Our team and those water-loving volunteers will place measuring stakes in a 100'x100' grid area and attach aluminum edging to the stakes to create the Sea Leveling Rods.

What you will need:

- Ready to be outside. Hat, sunglasses, shoes that can get muddy and wet.
- Towel and water costume you dont mind getting dirty (if you plan to get down in the bay mud with us).
- Bring a sack lunch and plenty of water.

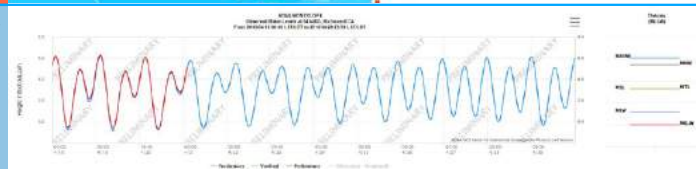
Dry Volunteers will help measure surveying line for the grid placement. We will need eyes on the staking, making sure each rod is placed in a straight line from the shore.

We also invite you to simply come hang out.

This is a community project:
folks coming out, engaging with the bay and imagining the future together.

SATURDAY, APRIL 28 @ DOTSON FAMILY MARSH

Entrance, restrooms, parking at end of Goodrick Ave.
Installation begins at low tide, 7:30 AM
12-2 PM lunch, meditation, conversation. Please join in.



Appendix C: Site Information

Energy Efficiency and Renewables addendum

THRIVE addendum via Integral Group:

ENERGY EFFICIENCY AND RENEWABLES

CHALLENGES:

- The local grid faces many current limitations for North Richmond to reach net zero energy and carbon goals:
 - Overall, the local utility grid is overdue for infrastructure upgrades and has been under-invested historically. There are already capacity and reliability issues in this area. Without upgrades, this is expected to get worse with time, since community electrical demand is expected to increase when fuel switching takes place, and as population densities increase. Grid upgrades are the responsibility of the utility, PG&E, and a productive conversation of upgrades that will be needed can be initiated once a master plan is developed.
- Advocacy organizations that may be helpful to North Richmond in negotiating a healthy and economically viable community include:
 - TURN/The Utility Reform Network advocates for reliable, safe, economical utility rates www.turn.org
 - Communities for Better A Environment advocates for environmental justice, clean energy and healthy communities www.cbecal.org
- A catastrophic event, such as earthquake or flooding, could easily disable critical services. On site energy generation and storage is required to support residences, resilience hubs and distributed water and wastewater treatment serving resilience hubs.
- Energy Independence
 - To move to a net zero energy and net zero carbon emissions for energy, North Richmond will need to transition from using a combination of gas and electricity, to using electricity for most needs, including those traditionally using combustion sources, such as heating, cooking and transportation. This is referred to as fuel switching.
 - In order to produce renewable energy locally, North Richmond will transition to solar installations at residences, apartments, commercial buildings, municipal buildings and properties, and industrial sites.
 - Working with Marin Clean Energy (MCE), which is the Community Choice Aggregation program adopted by Contra Costa County, North Richmond and Richmond jurisdictions will be able take full advantage of the many program offerings for energy efficiency, renewables, storage, and electric vehicles that will support economic benefit to the community. In general, MCE's rate structure is 2-4% lower than PG&E's rates, before the benefits of the program offerings listed here. Additional MCE programs specific to North Richmond include:
 - Energy Efficiency for Low-Income Families and Tenants (LIFT) provides rebates to cover efficiency retrofits and fuel switching for income-qualified multifamily properties

- Low-Income Home Energy Assistance Program (LIHEAP) will pay energy bills for customers and support energy efficiency retrofits
- Low-Income solar rebates through Grid Alternatives provides no-cost solar systems to low-income families
- Multifamily Energy Savings Program provides rebates for energy efficiency retrofits
- Small Commercial Energy Savings Program provides rebates for energy efficiency retrofits
- Residential Demand Response program provides rebates for reduced peak demand usage
- Electric Vehicle charging program in pilot includes installation of EV charging stations in the community at workplace and multifamily homes in partnership with PG&E
- Net Metering program pays customers \$0.01 above the kWh retail rate for solar energy produced
 - This program optimizes the solar rebates to the customer and can lead to an annual energy bill of \$0.
- Feed-In-Tariff (FIT) program available to larger scale solar installations up to 5 MW at commercial, municipal or industrial sites. This program pays renewable energy producers directly for the solar power they produce. The MCE program pays roughly three times the rate of other FIT programs at \$85/MW-yr.
- RichmondBUILD is a workforce development program that recently installed a 10.5 MW local solar installation, Solar One, with locally trained workforce resulting in jobs and renewable power. This program is available to North Richmond and we are including the development of a similar installation.

Much of the first cost and operating costs of energy efficiency and solar installation can be offset by these program offerings. In addition, Contra Costa County (CCC) is pursuing community-wide solar installations as discussed in the April 23, 2018 Sustainability Commission report presented by Jody London. CCC has commissioned a renewables study to identify potential sites for solar installation. As a programmatic approach, these installations will be the most cost effective for the community and will lock in lower energy rates for the community into the future.

- Green Business District (GBD)
 - CCC is considering implementing a Green Business District in North Richmond modeled on San Francisco's GBD to provide additional volunteer and public resources to stormwater, public space, energy and waste projects in the community. This mechanism directly supports the community goals of resilience, climate change mitigation, carbon neutrality and energy independence.

PROPOSALS

Local Hiring Requirement: Include local hire requirement for all new housing. Because labor accounts for approximately 2/3 of the cost of construction, this provision will boost earnings in the

Energy Efficiency and Renewables addendum (contd.)

area by as much as \$80 - \$100 million as the projects are built. Those earnings will drive local purchasing power.

[Green For All's High Road Agreements Best Practices Brief](#) details an excellent set of strategies to further local economic development, develop access to career opportunities, and build local hire requirements for living wage, career track jobs. Strategies include holding contractors accountable for complying with local hire agreements, and building a workforce development training pipeline that provide support to both trainees and contractors. Examples include successful energy efficiency programs and program elements such as Clean Energy Works Oregon, Milwaukee Energy Efficiency (Me²), Long Island Green Homes, Clean Power Works Seattle, and NYSERDA's Green Jobs-Green New York. [MPower Oregon](#) also creates living wage, career track jobs for the multifamily energy efficiency sector.

[Staying Green and Growing Jobs](#) outlines strategies to apply the same principles to the green infrastructure sector. Workforce development and pipeline to jobs programs such as the Seattle Conservation Corps and Onondaga Earth Corps are raised as examples of successful training programs that build strong hands-on experience and focus on quality installations. The success of these programs are also based in strong community connections. Programs that apply local hire and career track jobs to green infrastructure results in real local investment, such as in the case of the [Northeast Ohio Regional Sewer District](#), which is expected to create 219 jobs and economic activity in the range of \$23 million.

On the renewable energy side, [GRID Alternatives](#) is already on the ground in North Richmond. GRID partners with job training programs, and also offers additional training for installers who already have experience, but want to move up in their career.

In the energy efficiency, green infrastructure, and renewable energy sectors, local hiring and building career pathways generate sustained local wealth and investment while providing critical community upgrades.

Resilience Hub: A "resilience hub" will provide access to services including home ownership financing, energy and water efficiency retrofit, and renewable energy financing and incentives, electric car and bike sharing programs, small business startup support, etc. Given past challenges with local hire provisions in the area, a non-profit will be established to facilitate training, job placement and completion of required documentation to meet contracting requirements.

Community Solar: Marin Clean Energy has programs with strong social justice goals that support locally installed solar in low income communities. Programs streamline low-cost financing and provide bonuses for energy savings and installed solar power to make solar profitable for residents as well as installers.

[GRID Alternatives](#) also offers free home solar system installations for income-qualifying homes in North Richmond. Utility savings directly benefit the homeowner, while the entire community benefits through greenhouse gas emissions reductions. This programs make solar installations accessible to low-income homeowners who make less than 80% of area median income. This opens

up solar upgrades to an even larger set of residents for whom such upgrades would otherwise be out of reach, especially since they would not be part of a land trust.

Community Solar and Green Infrastructure

In addition to the above two options, Contra Costa County Sustainability Commission has already developed a proposal for a Green Benefits Districts Proposal, to present a comprehensive program that would push forward green infrastructure efforts in North Richmond. The Green Benefits Districts can also be a focal point for making community-level renewable energy upgrades.

The Green Benefits District would be a Communities Facilities District, or CFD. The CFD is a legal mechanism that would allow financing for infrastructure improvements through two main mechanisms: property tax based finance, and leveraging third party capital. The Green Gneefits District would then be able to make public improvements that finance energy efficiency, water conservation, and renewable energy improvements.

Grid Upgrades: The current grid is already facing stability issues, resulting in power outages and inability to feed power from renewables back into the grid. With expected population rise, which would only increase strain, the local grid is overdue for an upgrade, which also presents the community with an opportunity: starting these conversations now with PG&E would enable the community to guide the types of upgrades so that newer infrastructure is capable of answering future needs.

Energy Storage: Energy storage can play more than one role. The storage allows continuous energy use during grid shutdowns. Energy storage also provides critical grid stability services, by providing peak shaving.

- Flywheel or Lithium Ion storage for large energy uses, such as water treatment and industrial.
- 2kWh power packs that can physically be moved from energy generation sources to where energy use needs are.

Water Supply and Treatment Summary



MEMORANDUM

Date: June 1st, 2018

To: Debra Guenther - Mithun

From: Pete Munoz, PE - Biohabitats, Inc.

RE: Resilient by Design – North Richmond, HOME Team

Subject: Water Infrastructure Summary

The East Bay Municipal Utility District (EBMUD) supplies water to the North Richmond community by capturing water from 575 square miles of the Mokelumne River Watershed. Over the last decade EBMUD has reduced its water use by 20% by incentivizing water reduction through conservation and water reuse programs (EBMUD, 2018). Why is the utility proud of this reduction? EBMUD is better equipped to meet their mission, especially during times of crisis (drought, earthquakes, etc.) EBMUD mission is:

To manage the natural resources with which the District is entrusted; to provide reliable, high quality water and wastewater services at fair and reasonable rates for the people of the East Bay; and to preserve and protect the environment for future generations.

North Richmond is serviced by West County Wastewater District (WCWD), whose mission is:

To protect public health and the environment by safely and responsibly collecting and treating wastewater for reuse.

Additionally, their newly adapted vision is to become ‘a great place to work where we use the latest proven technology and best industry practices to care for District resources, enhance our environment and collaborate with our partners and community.’ (WCWD, 2018).

WCWD’s wastewater treatment plant (WWTP), like many other WWTP’s around the country, is located at the bottom of a watershed and near coastal and riverine areas. This makes WWTP’s vulnerability to extreme flooding events, storm surges, and sea level rise. Furthermore, nationwide it is estimated the 532 new treatment systems will need to be constructed by 2032 to meet future needs (ASCE, 2017). One strategy for upgrading or expanding water infrastructure

is to develop decentralized infrastructure that can create a non-potable supply within the community. Decentralized water infrastructure like this provides several unique benefits:

- 1) reduces wastewater conveyance limitations by minimizing the amount of water transported in a single sewer line,
- 2) reduces the potential for WWTP overflow, by not concentrating wastewater to a single location,
- 3) increases utility resilience by having multiple treatment locations,
- 4) decreases operating cost of conveying wastewater long distances through lift stations,
- 5) decreases the cost of operating water reuse infrastructure by creating treatment locations closer to non-potable water customers,
- 6) protects potable water supplies by limiting the use of potable water to meet non-potable demands,
- 7) contributes to meeting California carbon emissions reduction goals by reducing the need to convey water great distances (reduces - wastewater to centralized locations, non-potable water from centralized locations, and potable from treatment locations).
- 8) generates revenue by providing non-potable water supply,
- 9) decreases the impact of wastewater outfalls on the environment by reducing the amount of treated discharge, and
- 10) increases community equity but distributing water infrastructure throughout the community.

Public utilities throughout the United States are working to understand opportunities with decentralized infrastructure by assessing vulnerabilities, examining needed upgrades, quantifying ecosystem benefits and calculating economic advantages. Public utilities are also encouraging and incentivizing the private sector to fill a needed gap in the shift from centralized to decentralized infrastructure. Private utilities and developers have much more flexibility and less constraints in making infrastructure choices. Public utilities see the private sector as able to test out scale, public perception, and urban integration of new decentralized infrastructure. The Hassalo on 8th superblock project in Portland, OR is great example of public agencies working with private developers to craft innovative infrastructure that create win-win outcomes. Hassalo on 8th has a small wastewater facility integrated into the mixed-use urban development. It treats up to 45,000 gallons of wastewater a day and produces a non-potable water supply that is used for irrigation and flushing toilets for the onsite office building and for 657 residential units. Localized treatment and reuse reduces the reliance of the municipal sewer and lengthens the time needed before the city will be required to make more extensive collection grid improvements.

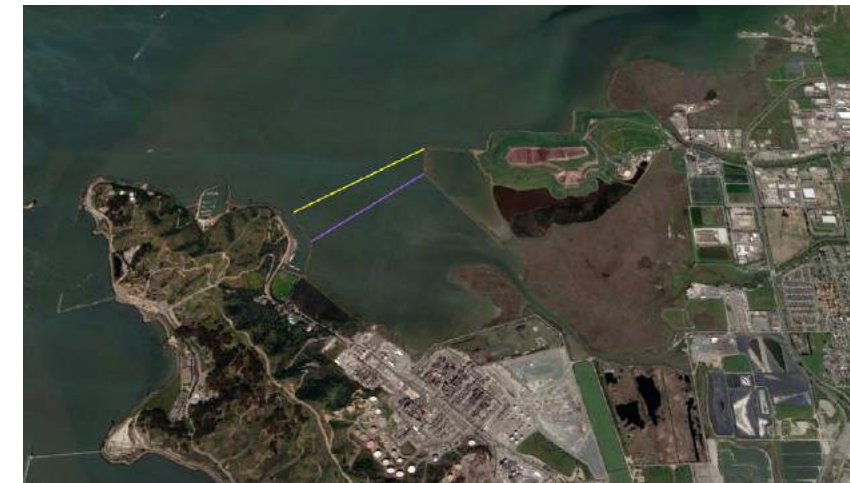
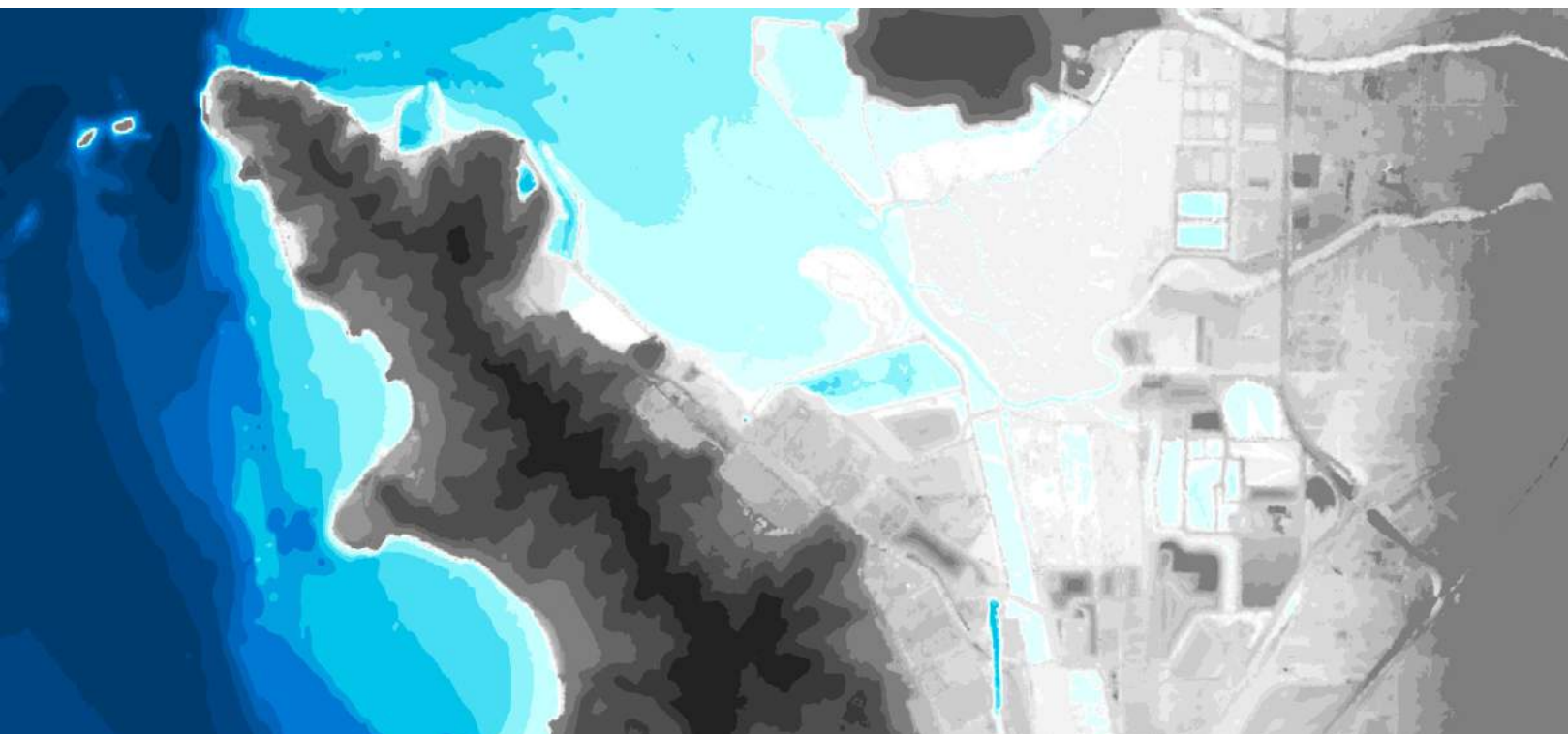
Existing wastewater lift stations, new developments, and civic spaces (parks, schools, etc.) are great places to begin to look for decentralized water infrastructure opportunities. Decentralized water reuse projects are win win solutions that are deeply aligned with the mission of the utilities that serve North Richmond.



Tidal Barrage System Analysis (Moffatt & Nichol)



Topographic and bathymetric data for the North Richmond study area in a digital elevation model.



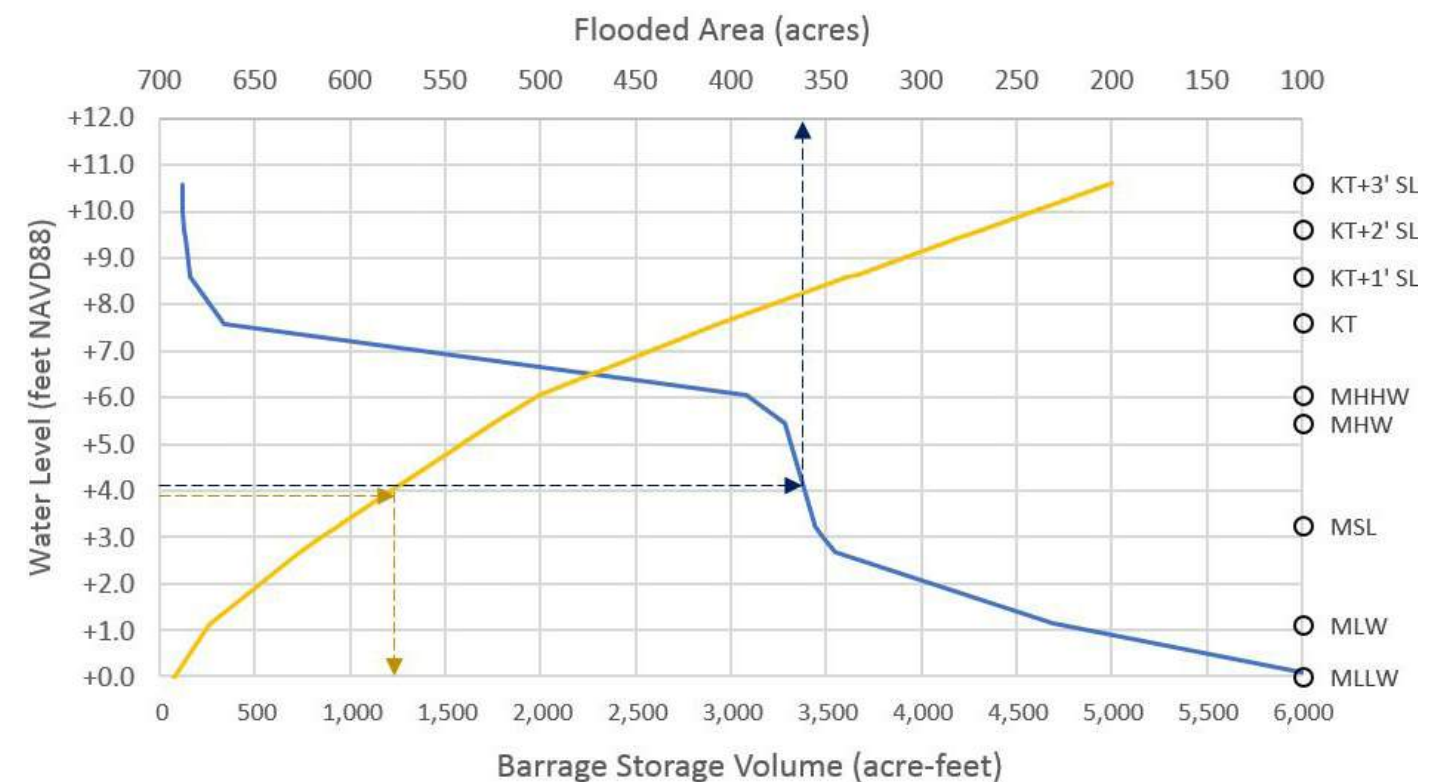
Yellow line = study alignment for barrage system.

The water level referenced to NAVD88 is indicated on the left hand side of the figure. For a given water level you can go horizontal until you hit the yellow curve (see yellow arrows). You can then read off the water storage volume within the barrage on the scale along the bottom. The same procedure can be used to figure the size of the flooded area within the barrage enclosure. Follow the example blue arrows and read off the area in acres using the scale along the top of the figure.

On the right hand side of the figure, common tide levels are listed, which may be more relevant than the NAVD88 elevation data.

As an example, if you figure the storage volume at Mean Higher High Water (MHHW), say 2,000 acre-feet. And then figure the storage volume at Mean Lower Low Water (MLLW), say 200 acre-feet. The difference: $2,000 - 200 = 1,800$ acre feet is the water volume exchanged over a high tide cycle.

The volume of water exchanged (tidal prism) can be utilized to figure power production from the tides.

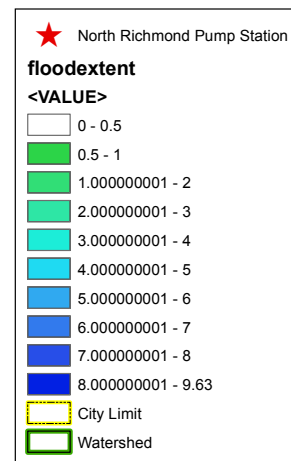
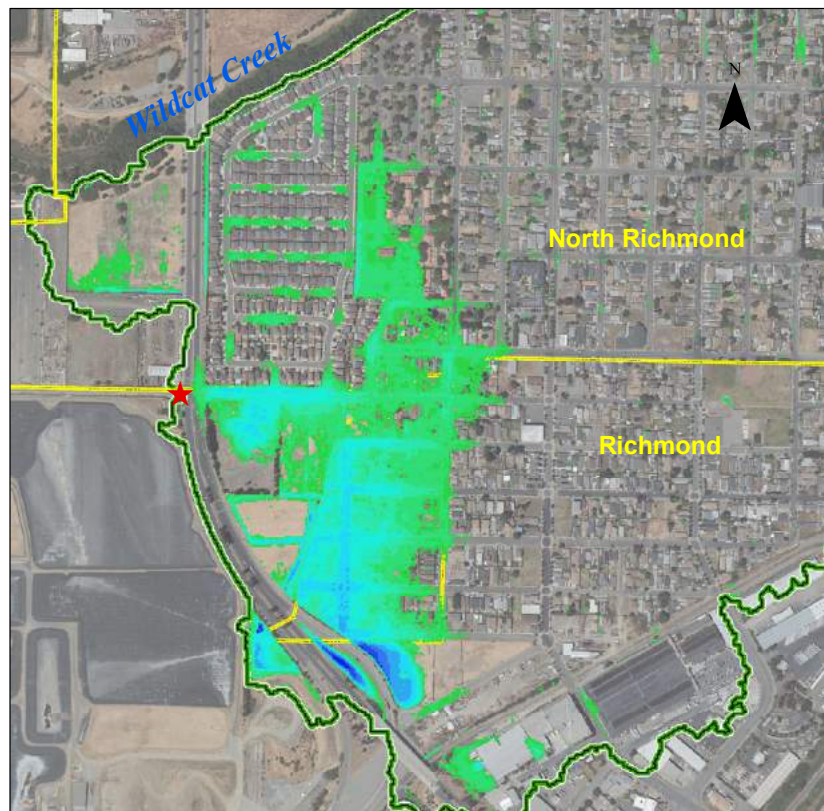


Pump and Outflow Map

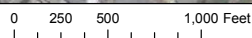


Figure 1. Location map showing the watershed boundary and the location of the pump station (green circle). Watershed delineation courtesy of the City of Richmond and Contra Costa County Public Works Department.

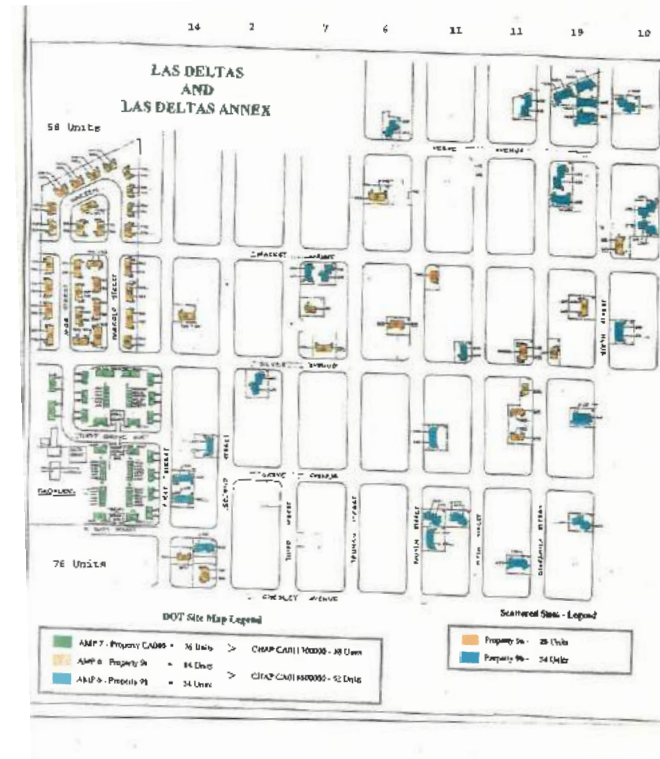
North Richmond Pump Station Inundation Map



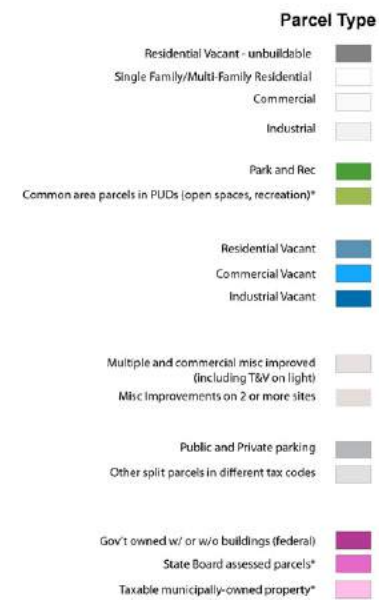
Methodology: Using 2008 LiDAR, use the GIS spatial analyst "Fill Sinks" tool to model the inundation resulting from a full blockage of the North Richmond Pump Station.



Las Deltas property map, Parcel ownership map



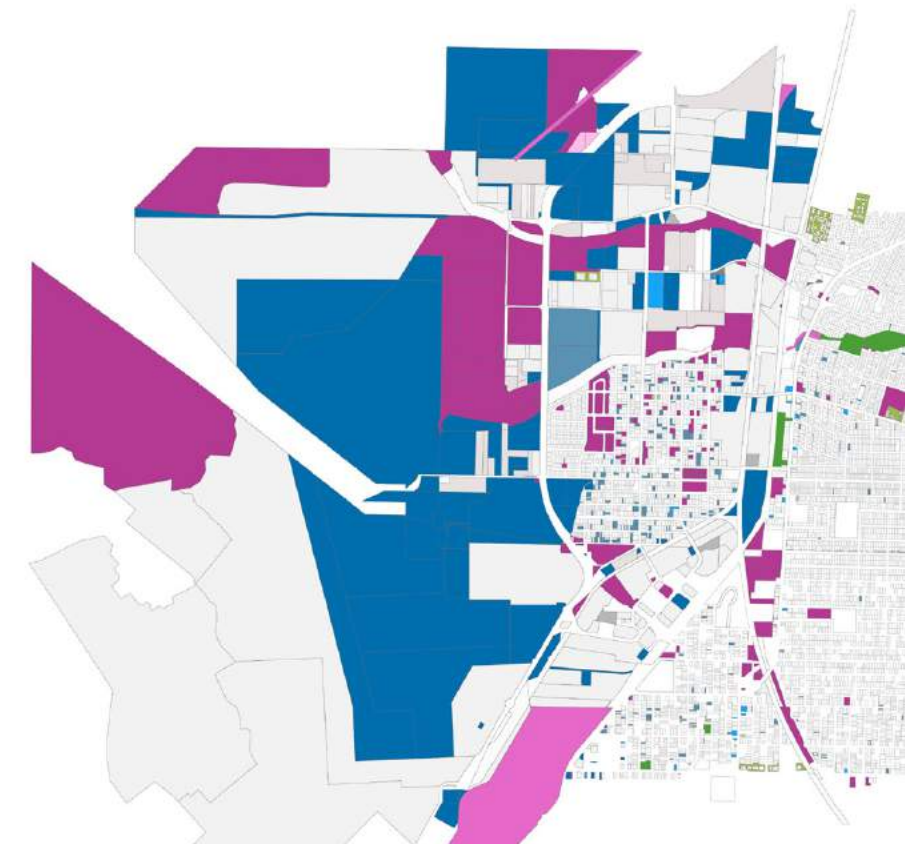
The Las Deltas property is located in unincorporated North Richmond and is comprised of 214 units built in three phases in 1952, 1960 and 1961. There are 76 units in the phase built in 1952. These are a mix of duplexes and six-unit row houses located together in a roughly 2x4 block area. Of these 76 units, 4 are being used for service delivery and 46 are vacant. The remaining two phases are comprised of 138 units scattered throughout North Richmond, all but 5 of which are duplexes (the 5 are single unit homes). Of these 138 units, 133 are vacant. The 37.9% overall occupancy rate at Las Deltas is an anomaly for HACCC. All 12 of HACCC's other properties have occupancy rates ranging from 96% to 100%.



*State Board Assessed Parcels - parcels assessed by the CA Board of Equalization that are owned or used by public utilities. The Board of Equalization shall annually assess the parcels, assess, correct, direct, and require the parties to the new counties and 42 projects, except the parcels owned or used by regulated utilities through or through companies, can companies operating on behalf of the state and companies transferring or selling parcels and other property.

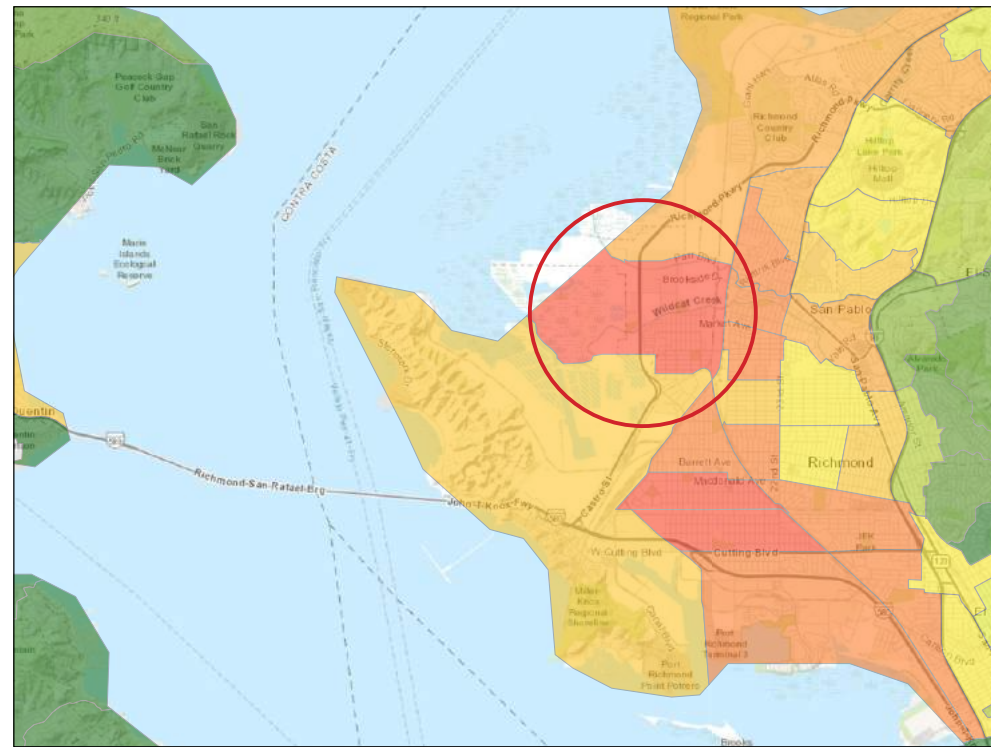
Taxable municipally-owned property - Land outside the jurisdiction zone boundary and still owned by the CA Government.

Common Area Parcels in PUDs - Open spaces and recreational developments.



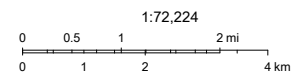
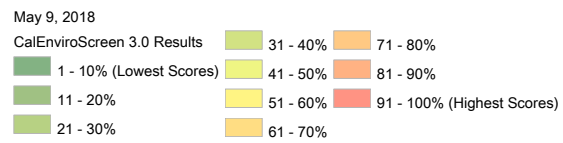
Contaminated Land Map

CalEnviroScreen 3.0 Results



Census Tract: 6013365002

Population:	5,462
CalEnviroScreen 3.0 Percentile:	91 - 95%
Pollution Burden Percentile:	77
Population Characteristics Percentile:	94
Ozone:	8
PM 2.5:	18
Diesel:	84
Pesticides:	27
Toxic Releases:	60
Traffic:	12
Drinking Water:	4
Cleanups:	99
Groundwater Threats:	90
Hazardous Waste:	100
Impaired Water:	91
Solid Waste:	97
Asthma:	100
Low Birth Weight:	58
Cardiovascular Rate:	78
Education:	79
Linguistic Isolation:	81
Poverty:	85
Unemployment:	88
Housing Burden:	86

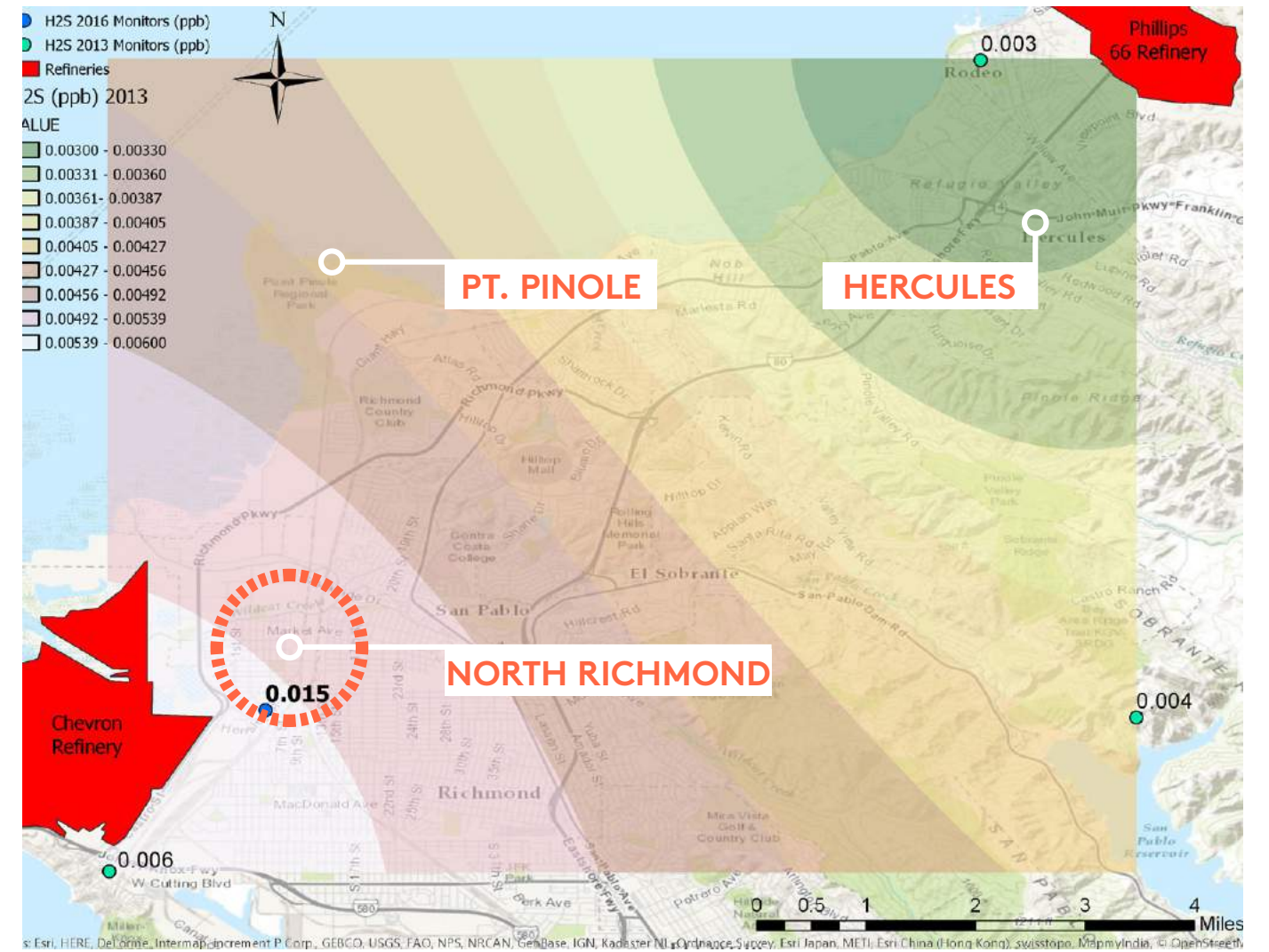


Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), swisstopo, OpenStreetMap contributors, and the GIS User Community

Web AppBuilder for ArcGIS
County of Marin, Bureau of Land Management, Esri, HERE, Garmin, INCREMENT P, USGS, METI/NASA, NGA, EPA, USDA | OEHA |

Air Quality Map

Figure 1. Map of Hydrogen Sulfide Emissions from the Richmond Chevron Refinery (FRACTRACKER.ORG, KYLE FERRAR, MPH)



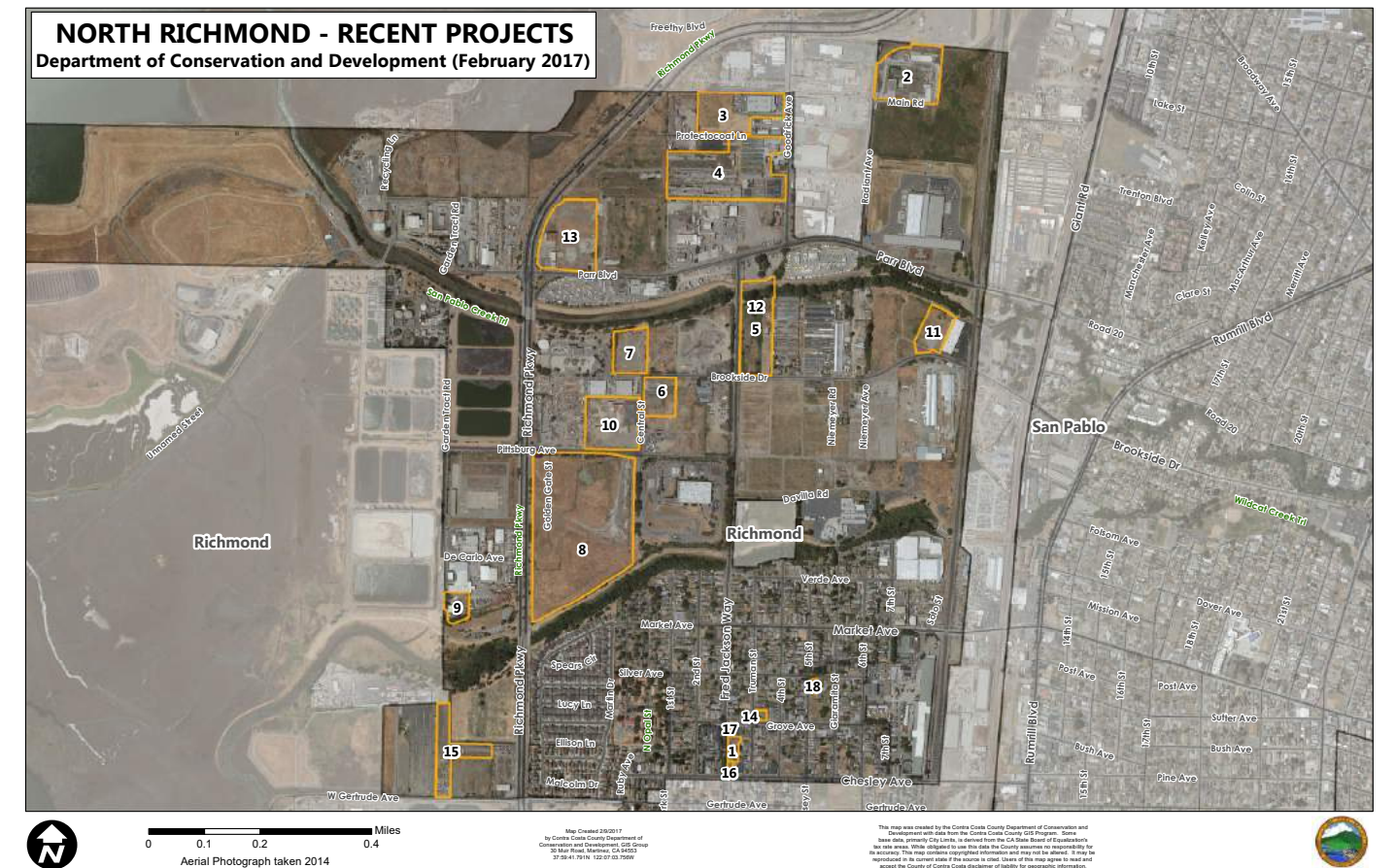
Esri, HERE, DeLorme, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), swisstopo, MapmyIndia, © OpenStreetMap contributors, and the GIS User Community

North Richmond Projects List

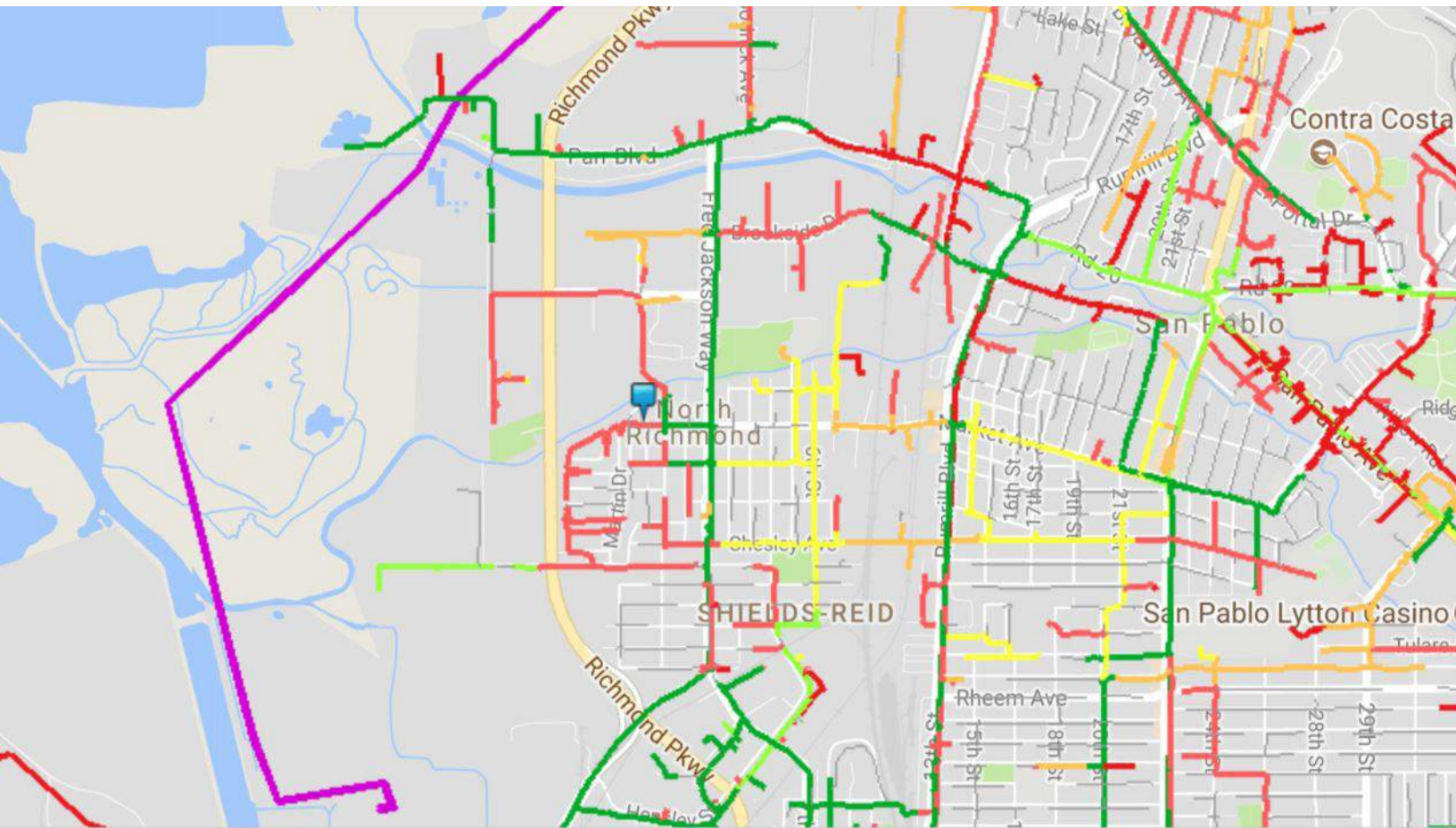
NORTH RICHMOND PROJECTS (February 2017) Department of Conservation and Development

Map	Project	Site Address/Location	Project Description and Status
Approved Projects			
1.	Heritage Point	Corner of Chesley Avenue and Fred Jackson Way	Heritage Point is a 4-story, 42-unit, multi-family, affordable housing development with retail and office uses on the ground level. The project was approved by the Board of Supervisors May 5, 2015. Applicant is waiting for funding to begin construction. (File#: DP14-3026, GP13-0004, MS14-0007; APN: 409-080-001, 013, 014, 015, 016, 020, 021) Project Planner: John Osborne, (925) 674-7793
2.	Oliver's Tow Yard	2800 Radiant Avenue	Oliver's Tow Yard was approved by County Zoning Administrator on October 5, 2015. (File#: LP07-2065; APN: 408-082-029) Project Planner: Stan Muraoka, (925) 674-7781
3.	Sign Production Business	2217 Goodrick Avenue	Approved May 3, 2016. Project is currently in Building Inspection Plan Check. (File #CV16-00019, APN: 408-090-042) Project Planner: Adrian Veliz, (925) 674-7798
4.	Industrial Buildings	2601 Goodrick Avenue	Proposed construction of 2, one-story, industrial buildings (171,000 square feet total). Approved by County Planning Commission on January 25, 2017. Awaiting condition of approval compliance review application. (File#: DP16-3023; APN: 408-090-020) Project Planner: Francisco Avila, (925) 674-7801
5.	Urban Tilth Phase 1	Corner of Brookside Drive and Fred Jackson Way	Community supported agricultural production farm and community learning center and farm stand. Admin application approved, Tree Permit request for ultimate farm footprint under review. (File #'s NR16-0007 and TP16-0036; APN: 408-201-017) Project Planner: Francisco Avila, (925) 674-7801
6.	Commercial Greenhouse	112 Brookside Drive	Proposal to construct 72,417-square-foot commercial greenhouse facilities. Approved by the Zoning Administrator on December 5, 2016. (File#: DP16-3008; APN: 408-203-006) Project Planner: Adrian Veliz, (925) 674-7798
Projects Under Review			
7.	Wood Recycling Facility	109 Brookside Drive	Proposed wood recycling, chipping and grinding facility. Project is currently undergoing environmental review. (File#: LP15-2010; APN: 408-190-054) Project Planner: Daniel Barrios, (925) 674-7788
8.	500,000 SQ. FT. Warehouse	500 Pittsburg Avenue (Panettoni property)	Proposed construction of a 500,000-square foot distribution center. Under review for completeness, environmental review to begin upon acceptance of complete project. (File#: DP14-3041; APN: 408-180-010, 408-170-072) Project Planner: Francisco Avila, (925) 674-7801
9.	Commercial Water Treatment Facility	1850 Garden Tract Road	Proposal to establish a centralized commercial water treatment facility within an existing warehouse building. Application is currently incomplete. (File#: LP15-2017; APN: 408-170-063) Project Planner: Sean Tully, (925) 674-7800
10.	Light Industry Commercial Condominiums	2200 Central Street	Proposed nine-parcel commercial subdivision/commercial condominium conversion. Application is currently incomplete. (File#: SD15-9423, DP15-3044; APN: 408-190-004) Project Planner: Stanley Muraoka, (925) 674-7781
11.	Glass Door Production Facility Expansion	0 Brookside Drive, between Fred Jackson Way and Giant Road	Construction of a 50,820-square-foot production facility to be an expansion of a glass door production facility currently located at 775 Brookside Drive. CEQA comment period ends February 15 2017. (File#: DP15-3040; APN: 409-320-032) Project Planner: Adrian Veliz, (925) 674-7798
12.	Urban Tilth	Corner of Brookside Drive and Fred Jackson Way	Proposed community supported agricultural production farm and community learning center and farm stand. Admin application approved, Tree Permit request for ultimate farm footprint under review. (File #'s NR16-0007 and TP16-0036; APN: 408-201-017) Project Planner: Francisco Avila, (925) 674-7801
13.	Galaxy Desserts	81 Parr Boulevard	Proposed 266,700 square-foot bakery. Application is currently incomplete. (File #DP16-3039; APN's 408-090-044, 408-130-018, 408-130-037, 038 and 039) Project Planner: Francisco Avila, (925) 674-7801
14.	Minor Subdivision – Residential	345 Grove Avenue	Proposed two-lot subdivision. Currently under review. (File #MS16-00010; APN:409-172-019) Project Planner: Sean Tully, (925) 674-7800
15.	Contractor's Yard	560 Gertrude Avenue	Proposed contractor's yard for storage of trucks and building materials. (File #NR16-00006, APN: 408-160-019) Project Planner: Jesus Del Toro, (925) 674-7797

16.	Wireless Access Permit	Utility pole within right-of-way on Chelsley Ave.	Wireless Access Permit to establish an ExteNet Systems cell site, including one 2-foot antenna, accessory equipment, attached to a utility pole located in the public right-of-way on Chelsley Ave.. Project is pending submittal of new location due to undergrounding of utilities. (File #WA16-0003; Reference APN: 409-080-013) Project Planner: Joseph Lawlor, (925) 674-7802
17.	Wireless Access Permit	Utility pole within right-of-way on Grove St.	Wireless Facility Access Permit to establish a new ExteNet cell site attached to a utility pole, including 2 antenna and accessory equipment in the public right-of-way on Grove St.. Project is pending submittal of new location due to undergrounding of utilities. (File #WA16-0005, APN: 409-080-001) Project Planner: Joseph Lawlor, (925) 674-7802
18.	Sprint Cell Site	Corner of 5 th St. and Silver Ave.	Proposed Sprint cell site to be attached on a utility pole in the public right-of-way at the corner of 5 th St. and Silver Ave.. Application is incomplete. (File #LP16-2037; APN: 409-142-001) Project Planner: Dominique Vogelphol, (925) 674-7814



Current Electrical Grid Conditions Map



Trail Dimensions / Bikeway

Bicyclists at Intersections

Several techniques can improve the safety and operations of bicyclists at intersections. Traffic control devices such as **signage, roadway markings and signals**, or **geometric design features** can reduce ambiguity for all roadway users and draw attention to the presence of bicyclists. Many of these strategies are found in the Caltrans Complete Intersections Guide. Some techniques are relatively new or newly approved in California. A few examples are provided here.



Bike Signals

A bicycle signal is a traffic signal that uses bicycle signal faces and directs bicyclists to take specific actions when there are no conflicting movements. Use of bicycle signal faces is analogous to using pedestrian signal heads. Implementation is based on engineering judgment.

REFERENCE: CALTRANS SECTION 40-10-04-01
FHWA INTERIM APPROVAL IA-16, NACTO URBAN BIKEWAY DESIGN GUIDE/ SIGNALS



Green-Colored Pavement Through Conflict Areas

Green-colored pavement can be used on Class II or Class IV bikeways. When bikeways cross intersections or motorists need to merge across a bikeway, green-colored markings become dashed. This can be useful at ramp intersections to increase visibility and draw attention to the presence of bicyclists.

REFERENCE: FHWA INTERIM APPROVAL IA-14, CALTRANS FIGURE 9C-1033(C)



Protected Intersections

Separated bikeways at intersections can be designed as a protected intersection—providing greater separation and protection for bicyclists and minimizing the number of conflict points with motor traffic. Corner islands keep bicyclists to the right, placing them downstream of the cross street and allowing right-turning motorists to complete a turn before interacting with bicyclists. Bicycle crossings are placed just to, but separated from, pedestrian crossings. Protected intersections can facilitate left turns for bicyclists by providing a waiting area to complete the crossing in two stages.

REFERENCE: CALTRANS DESIGN INFORMATION BULLETIN #1 - CLASS V BIKEWAY GUIDANCE, SECTION 2.2, FHWA SEPARATED BIKE LANE PLANNING AND DESIGN GUIDE, CHAPTER 6, STEP 4



Intersection Bike Boxes

The intersection bike box, a designated area on the approach to a signalized intersection, provides bicyclists a space to wait in front of stopped motor vehicles during the red signal phase so that they are more visible to motorists at the start of the green signal phase.

REFERENCE: FHWA INTERIM APPROVAL IA-16, NACTO URBAN BIKEWAY DESIGN GUIDE/ INTERSECTIONS/ BIKE BOXES

Two-Stage Turn Queue Boxes

Two-stage turn queue boxes offer bicyclists a way to make left turns at multi-lane intersections by separating the turn into two moves, which is helpful for bicyclists who are uncomfortable merging across multiple lanes of traffic to make a left.

REFERENCE: FHWA INTERIM APPROVAL IA-20, NACTO URBAN BIKEWAY DESIGN GUIDE/ INTERSECTIONS/ TWO-STAGE TURN QUEUE BOXES



Bicyclists at Roundabouts

Roundabouts are circular intersections where motorists and bicyclists yield to enter. While roundabouts have been shown to reduce the number and severity of crashes overall, it is important to design them for all users by minimizing the design speed and the number of lanes and conflict points to reduce exposure for all users. Bicyclists are allowed to take the lane with vehicle traffic, but can also be provided a separated bikeway or a shared use path that circulates around the roundabout to reduce the level of stress. While single-lane roundabouts are easier for bicyclists to navigate, multi-lane roundabouts require additional considerations at conflict points and bikeway crossings.

REFERENCE: NCHRP REPORT 672, ROUNDABOUTS, AN INFORMATIONAL GUIDE, MANDOT SEPARATED BIKE LANE PLANNING AND DESIGN GUIDE



A GUIDE TO Bikeway Classification

JULY 2017



PREPARED BY
alta
PLANNING + DESIGN

Appendix D: Community Advisory Board

Meeting #1

Resilient By Design // Home Team
North Richmond CAB Meeting # 2/22/2018

- Introductions / name, affiliation, one thing they love about Richmond**
- Deb Guenther / Mithun Home Team / Landscape architect
 - Dave David / Home Team
 - Sandy Mandler / Mithun Home Team / Architect and planner
 - Katie Stege / Mithun Home Team / Architectural designer
 - Tim Mollette Parks / Mithun Home Team / Landscape architect
 - Zoe Seigel / RbD
 - Hannah Goldov / RbD
 - Sherry Stanley / West County Wastewater District / North Richmond - optimism and values
 - Paula White / The Watershed Project (TWP) / Richmond Shoreline
 - Nick Snyder / CCC Sustainability Commission/Terra Resource Consultants / Like sustainability efforts
 - Secunia Erasmus / City of Richmond
 - Josh Bradt / San Francisco Estuary Partnership (SFEP) / Geography and people
 - Tania Pulicio / Community Housing Development Corporation (CHDC) / The people
 - Regina Cuevas / North Richmond Resident / Loves this area, been living here 15 years
 - Sara Gurdian / The Watershed Project (TWP) / Diversity and culture we live in everyday
 - Juliana Gonzalez / The Watershed Project (TWP) / Shoreline, progressive minds and climate smart efforts
 - Paul R. Detyens / CCC Flood Control District
 - Beth Williams / North Richmond Homeowner & resident / One of the last places in the east bay with lots of potential
 - Bob Lilley / Business developer with Contra Costa Electric, Career Path (nonprofit) / Likes the potential for citizen involvement
 - Johanna Rashed / Here with her brother
 - Dr. Henry Clark / Environmental Justice, West County Doctors Coalition / born & raised in North Richmond, likes the North Richmond Shoreline Festival
 - John Steere / Watershed Planner with Contra Costa County / Green infrastructure projects with local nonprofits; North Richmond Watershed Connections Project; involvement
 - Sonda Hamlet / EBRPD / Dodson Family Marsh
 - Princess Robinson / Jiban Tilt & North Richmond Farm, North Richmond Resident / Loves this area, and loves the struggles and strength
 - Courtney Moore / Urban Tilt / Loves the diversity
 - LeDamiere Flowers / Community organizer, North Richmond resident

Home Team: Share with you what we have been thinking about in this project, update on process and what is the CAB, RbD and hopes/expectations

RbD process: funded by Rockefeller Foundation, funders of *Rebuild by Design* New York / wanted to make sure that the communities were involved in rebuilding process / what if this community input took place before a disaster – thinking about sea level rise/climate related challenges

- Want to think before another disaster takes place and thinking about sea level rise/other climate related challenges – our focus is on housing
- A year long design challenge across the Bay Area - creative design process - 10 sites, including North Richmond
- Focus on a regional solution / Bracing Down Sides - creating holistic solutions that look at the whole system
- Look into projects that are achievable and realizable
- 10 project areas were selected, Design teams submitted applications, cities applied - 10 design teams 10 sites / Home Team matched with North Richmond

How this process works?

- Together with community we want to bring together our efforts to focus our efforts / focus efforts on creating community based plan
- Take the results and have resources in the future - narrative of resilient planning - can be a future resource

Who is the Home Team?
Transportation planners, Designers, Architects, Ecologists, Engineers - many different people with unique and diverse expertise - focus on Home Housing

Why focus on Home/housing?
Tim/Home Team - personal story from my Home past / how concept of Home shapes our view/process

- Big Sandy Run - Electrification Cooperative - grandfather's buy-in in the 1940s in the Appalachian Mountains
- Community owning their infrastructure / economic by-on, stake in their community
- Big Sandy - live along the Big Sandy River / knew we were part of the larger watershed / connecting to economic, ecology etc

Home Team - see this opportunity to look at challenges facing residents, and see that the challenges of sea level rise as an opportunity to improve and reflect on community resilience / to plan historically to foster social and environmental resilience (example: infrastructure)
Relate Adapt Thrive / regionally based priority resilience area
low investment over time and sea level rise - "priority development areas" - to change that that "priority resilience area" - think more holistically to build communities and resilience side by side - tangible ideas

Wildcat/San Pablo Creeks & North Richmond Watershed

- History of flood - pumps reaching end of useful life - a pressing challenge
- Upland to lowland complete system - tidal, flood areas - whole system - not just about the shoreline but the whole watershed

Home = Habitat and Habitation (natural system to provide healthy ecosystems and human life)

CAB

- What to have an interactive project design process - assembled CAB
- How we went about assembling the group - tried to build groups with different expertise in these regions - want different expertise / different perspectives
 - o 2 seats on board / 24 people
 - o Racial Balance
 - o 25-50 age range
 - o 1/3 city of Richmond, north Richmond, other County Residents
 - o 1/3 nonprofits, residents, municipal
- Objective: CAB will be advisory team, ongoing collaboration, incorporating feedback from communities into draft design, ambassadors to the greater community, possible ideas to stay involved

SCHEDULE:
Four key meetings
March 1st - second meeting
March 13th - third meeting
April 19th - final meeting

Areas of Influence / Study Area

- Boundaries defined by watersheds of Wildcat/San Pablo Creeks
- Pretty broad area, trying to define where the projects within this area
- Exploring existing initiatives - want to build on and collaborate with existing ideas (encourage people to add to map at back of room during the break)

What Home TEAM are hoping to accomplish:

- 1) Define the priority project (s) / priority resilience concept
- 2) Build a physical prototype
- 3) Explore governance group (this CAB) for future implementation of project(s)

Co-developing all these accomplishments with the CAB, natural tension with the time frame (MAY) and what we want to accomplish and what the community

PROTOTYPE: value, to build a small version of something to see how it goes, helps engage the community, often in physically building something. Some possible ideas Home Team have discussed include:

- Oak testing / with climate change oaks will not thrive, maybe there are opportunities for an oak testing scenario on a regional need - which oaks to plant for the future, build a testing facility in North Richmond - could be center for future research for the whole Bay Area
- Vacant Lots / what are the temporary uses for the land, tiny homes, gardens - while the future use is being decided, build something in the short term that could benefit the community

Meeting on the 13th of March - all about getting your ideas on the prototypes - not going to decide all this tonight, but we will help the project move forward - not just a report on a shelf - get you thinking about that before the third meeting (if you have thoughts on prototype - write it down on the blue cards, and we will add them to the list)

Home Team - here are some big picture ideas that we have been thinking about.

- Community owned renewable energy (solar)
- Floating Bay Trail - increase accessibility
- Affordable housing, would adjust with sea level rise - amphibious housing
- Green infrastructure
- Living shoreline
- Decentralized Wastewater - marsh connections
- Housing and transportation overlay to the North Richmond Shoreline Vision Plan
- Health Action Plan
- Community Anti-Displacement Plan - know that something many community groups have been working on

Any questions?

QUESTION / Bob: regional solution - sea level rise in particular, or larger than that?
A: Rockefeller Foundation goal is to link all the 10 locations together, for Home, if we are focusing on regulatory challenges then that could help the whole community, they all with inform each other

QUESTION / Bob: what is your definition of resources?
A: our hope is through this process, and RbD process, will help define financial resources

QUESTION / Bob: projects, mostly environmental projects?
A: a resilient by design challenge / environmental/climate resilient and community resilience connections (including economic) how will climate resilience strengthen and benefit the whole community; environmental issues tied to climate and solution issues

QUESTION / Dr. Clark: How long will you have the community based energy that could potentially tied to new solar farm to the new solar farm by the Parkway/Chevron, floating houses - if that became a viable idea, would the planning obstacles be explored? How realistic would that be?
A: We'd like the ideas to be realistic and could be implemented easily with obstacles. List of possible ideas - some people in the community, think that pot farms could be a great idea for the community - but I am not on board with this idea

QUESTION / Beth Williams: Climate issues - food potential - is that the focus?
A: the challenge was defined by RbD with sea level rise, Home team see resilience as more holistic, people are not planning to sea level rise because of other crisis, can we combine this multiple crisis together? This is really about health of communities and of the environment.

QUESTION / Sherry: is the end goal to leave ideas with the 10 areas, or to come back in to implement them?

A: to define a project, that could be implemented in the future by the community. One of our challenges to think about who could take on this project in the LR and who could fund it.

QUESTION / Nick Snyder: Is there a second phase of funding for implementation?
A: We have an economics person on our team to look into grants and a whole range of funding sources

QUESTION / Sandra: Many of us have been very involved in many other plans for this region. Could there be more focused on implementation, especially on large scale ideas. Many of us participated in the TPL climate smart cities; went through similar processes - identifying different data points for many future projects.
A: want to build on the past ideas

Relationship building exercise: 1) if you have a magic wand how would you improve the community; 2) and how to address systems of historic inequality (turn to the people near you and discuss)

Groups come back, and discuss their thoughts:

Group 1 // employment, local jobs, access to higher education through scholarships, more renewable energy/solar on individual houses, addressing sediment issue in Wildcat Creek, housing displacement, relocation plans, ways of avoiding gentrification, multiple development, population growth, dense housing, keeping communities intact, pride in community.

Group 2 // housing experts on the CAB, anti-displacement, our power as an environmental justice collaborations, what can we learn from current actions and how they can connect with them, increasing rent/affordable housing, tenants rights, thinking about areas abandoned by the county - flipping them, turning them into land trust, ownership of homes, creating more community hubs.

Group 3 // importance of bringing pride to the area, infrastructure pieces for walkability for lighting, safe routes to schools, crosswalks, employment opportunity wages, importance of bringing investment, safety - role of safety in attracting investment, it has improved significantly - and will bring in more resources, change the perception of North Richmond.

Group 4 // knowledge of what's there - increasing destination of trails, signage along the trails - plants/animals, parks, beautification of the area, small/big businesses, local ownership in the community, equity of employment - businesses coming in to make commitment to hire locals, north Richmond MAC, holding the upper watershed accountable - thinking about the full watershed health.

Racial Equity Framework Plan
- draft - what to think about the framework used to evaluate projects and critical steps to achieve the goals - look up on slides for full objectives-

Any initial thoughts?
Dr. Clark: community housing corporation, groups like Tania, they are the community groups that would be involved in displacement issues and ground breaking on two blocks of Fred Jackson way, the MAC (Dan Gilmore) has been discussing the very same issues, discuss with affordable housing advocates, relocating back to North Richmond is no longer the plan often for many who have been displaced (especially from community housing)
Bob: would like to replace the ward job with the ward career - there is a big difference - just a job is not sustainable, a career - require training, ownership, good wage, long term, health care plan, retirement plan, benefits
Secunia: Thinking of different levels of privilege we all have, some with more, some with less, we have the responsibility of acknowledging how short this time is but how much is already being down in Richmond and how active and involved this community is, as a resident - Richmond is a wonderful place to live/work, deep plans/connections, not just "here is now we are going to help you"

Resilient Toolkit
Talking about what the resilience issues are - and how to communicate with the community (on resilience planning and implementation might look like, and the benefits of resilience planning)
What Home Team are thinking:

- stabilization (careers/community wealth), mitigation (sustainable energy, water, waste), adaptation (responsive physical environment to flooding, social cohesion)
- ex. Community energy solution, marsh restoration, career program, sea level rise maps - from our experts; have been compiling this information and would like to share
- FEEDBACK: could be helpful to share with our own organization, could read with your own organization, give it to kids to be more effective, getting the word out on resilient communities/sea level rise - tours along the shoreline have been helpful to sharing with the North Richmond community, another tour could be helpful, thinking about linking to other current activities going on

Next meeting:

- Think about other people are not in this room, who else would you like to be part of this effort? - will send out a letter you can send out to other people or the Home team can contact them as well
 - o Stakeholder brainstorm: recommendation on who to join this workshop? Who in your network can you or we reach out to? Other meetings that the Home Team can attend?
 - o Wildcat San Pablo Watershed Council meeting: Home Team could make a presentation
- **Streetwize** - a mobile friendly tool that can gather feedback on the community; answers simple questions like: how safe is this street, how walkable is this neighborhood? Used to generate questions - via community mapping: where are their vacant lots? What is your favorite/least favorite places? Where have you seen flooding? Survey tools location specific input // All the questions will be emailed out, and everyone will get trained on the tool next meeting.

Juliana Gonzalez and Robert Rogers of Supervisor John Gioia's office - reach out to in between meetings

Final questions/comments before wrapping up?

- Could Home Team send out information on the previous RbD project in New York? Examples of past projects?
- many of the environmental issues are being tackled by communication/talking - multi-level group asking for money, we are more successful, we should all be working together and collaborating // the time frame with sea level rise is getting shorter; try to make that work as valuable as possible // building connections and organizing with each other and bringing all our different resources to the table.

Anyone not getting emails from katies@mithun.com?

Thank you!



Meeting #2

CAB Meeting Notes 2 // March 1st, 2018

I. Welcome and Introductions
Thank you to all the partners, partner organizations, neighbors, community leaders // the who can be greater than all the individual parts

Brief intros

Resilient by Design - Overview

What is Resilient by Design (RbD), about being proactive in changes as we are planning for a future with climate change, and tie those things together to make smarter investments / interconnecting future designs with resiliency

- Opportunity for North Richmond (NR) - share work that is being done and how that can be part of next phase of community designing
- NR already has done a lot: RbD want to build on these ideas and this knowledge
- 10 teams in 10 locations // sharing knowledge between them too
- Home Team // more than just folks seen in this room // many experts in wide range of fields

VIDEO - on how the Home Team approaches resilience

How are things connected? // home & climate change & resilience

- Communities that are strong are so tied to ecosystems that are strong // social/economic/environmental needs // strong communities and strong ecosystems thrive together
- Examples
 - eucalyptus - invasive species // Replace eucalyptus trees with native oaks, create a local oak nursery with in community AND provide jobs/career development, economic ownership/vitality etc
 - stormwater issues - pump - also shown in red that is saved by pump that reduces flooding, yet pump is vulnerable to sea level rise // put in more green infrastructure etc to reduce the need for the pump AND increase green spaces, build community connections, ecosystem health
- Multi-benefits: addresses more than one challenge // green infrastructure addresses more than just flooding

Some multi-benefit design opportunities for North Richmond

- Nursery // community research station
- Affordable - amphibious house
- Community owned renewable energy
- Floating bay trail connections
- Living Shorelines
- Plus many more resources on the thumb drive - please take with you and share with your community

II - Streetwz

Presented on by Antw Akom, Ph.D

Mithun: about us without us

Language // We want to start in multiple languages

- Streetwz is multilingual and this is its core - critical to have a platform that is multilingual to communicate with people, especially in underserved communities

Can't talk about place-making without taking about about race-making and its impact on spaces and places

Great ideas that have already been presented by the Home Team, but does not have the community's input/voice and this is where Streetwz comes in today

It's not enough to ask "how can we build healthier / how can we build happier / how can we build greener communities"

FIRST must look into structural inequalities and how they have shaped our cities (race, gender, immigration, poverty and other forms of structure inequality)

How to do redesign our cities for communities that have been locked out of sustainability conversations?

- Who will have a SAY in how we redesign our cities? Everyday people or elite?
- How to redesign our communities: not FOR but WITH

ECO-APARTHEID - system theory that examines that ecological impacts of structural racism & unequal benefits based on race, class, gender, language, immigration, healthy and their inter-connection

Cumulative Causation: examining close eyes

- Imagine that you are all dark skin/black/brown youth like me - using West Oakland as an example - but this should also hold true for North Richmond - remember we are talking eco-apartheid, cumulative causation
- how many grocery stores are there in West Oakland? Depending on how you draw the boundaries - between 6-1
- how many liquor stores are there in West Oakland? Guesses 30, 25, 45 - depending on how you draw the boundaries - between 50-60
- where are we going to stop on our way to school for food? Junk food at the liquor store
- what is the race and the gender that teach us black/brown children in schools? White women - teaching is about dedication, commitment and love, but they do not look like we do and come from a very different cultural place than we do so when we go into the classroom, all ignored up, what is the general diagnosis? ADAH

THAT'S eco-apartheid, cumulative causation - outcomes matter more than the intent - because of the structure of our neighborhood, we just got put on a path that impacts our life, our trajectory, and our neighborhoods and resiliency

Environmental bias (Chevron) in low-income communities while environmental goods in higher-income communities - is that true?

Eco-apartheid - more power definition than environmental racism - includes more - captures more (grocery stores etc) while simultaneously centering race and racism and their political implications

Policy is not neutral // Place-making cannot be discussed without race-making // Racial/spatial reproduction of inequality

- Tim Wise - history of America is the history of privilege of white people/white looking folks / all the way back to the constitution, homestead act of 1862 160 acres for 10 bucks but defined that to black/brown, so the rejection of loans, black/brown folks with less start-up welfare, white folks good sound economic policy --- white families have 20x more wealth because of institutional wealth built on institutional racism
- Too often we end up blaming individuals for structure problems

Thriving resiliency // Re-frame our understanding of resiliency from surviving resiliency (disaster preparedness) - to thriving resiliency (about social cohesion, social connections, social capital)

- First generation immigrants from Latin America live longer than second generation
- Why? It's all about community // first generation keeps their cultural connection, social cohesion
- When we think about resiliency we need to think about social connectivity and people's sense of self

Gap between professional knowledge & local knowledge

- When scientists think about climate change they talk about parts per million
- But when low-income communities think of climate change - asthma, health, impacts of neighborhood and everyday lives

Hardware vs. Software // Community Data Revolution

We have not correctly identified the problem - including RbD and federal government - we have been setting TOP-DOWN goals for the design of the built environment (**HARDWARE**) but we think what is missing is our lived experience (**SOFTWARE**) power of place

- real challenge is the community data revolution // how we bridge this gap between hardware & software // in a way that makes the data more authentic and meaningful, valid and authentic
- Missing link - equity

POWER POWER PLACEMAKING = real-time, 2-way communication

To fill this gap - we've built Streetwz - turns real-time information about how people are experiencing cities and turns them into actionable analytics

Experiential Data // we have data that you live near a park but we do not have data on experiences with in the park // Streetwz captures experience and spatial data

- How do we democratize data? Decision-making?
- Datasets are not holistic // walk-scores do not capture harassment, I-94 stores
- Eric Klinenberg // Heat Wave - social autopsy of the city // what role did community resiliency play in the heat wave deaths?
 - In disconnected neighborhoods, people died alone in their homes
 - In connected neighborhoods - people checked on each other, had active public spaces and had a higher survival rate
 - Variable the best explains the mortality - not hardware - but the **software infrastructure // the connectivity** // things that get overlooked too often

Streetwz - gives you the opportunity to report on soft infrastructure // where you walk, where you see friends, where you see the doctor, where you get food

- East Oakland - compare the difference between County public data with ground-truthed data with Streetwz // compare grocery stores rates / count had dozens of grocery stores listed, Streetwz only had a few
- Car upload video, photos - important while communicating with bilingual populations
- Google - Streetwz - Adirna - collaboration on air quality in Oakland // google cars drive around capturing air pollution data // the cars go too fast to capture why those hot spots exist // streetwz ground-truthed those high pollution hotspots // used the data to make policy changes in Oakland
- Mapping the geography of homeless in east Oakland, data platform for BLM

Join us in building a new data revolution - science and technology behind community driven data // Streetwz is black-owned, women-led one of the few in the tech space

Up next - Streetwz training

QUESTIONS

Q: Sherry // Role of annexation in North Richmond? How do you take this passion, when it reaches the roadblocks of politics & money? Streetwz, we support communities in working with roadblocks, support grassroots solutions & looking for solutions outside of the system / we built the platform for the roadblocks - political ecosystem without the crowdsourced data and it changes the responsiveness of politicians - political leverage

Q: Dr. Clark // great presentation on structural racism - unless we do something about the education system, how will things change? / black history month & learn something new every day / a black man created the face mask (forerunner to gas mask) / thinking about black history and the gaps of knowledge of black history, role of black history in Mexico, history of power and ruling, social history not taught with knowledge of black history / how does this educational system fit in with what you are talking about? At right now there is miseducation and part of what is missing from this education system are things that young people care about in the curriculum // with more engagement we will see more achievement

Q: Sequoia - inside/outside perspective of city of Richmond employee and resident / city of Richmond is open to more community engagement in the political process, looking for more engagement with the actions that are already happening between the community/government / important to acknowledge the connections that are already happening / see this as a tool to be used / would like to see a clear call to action on how to use this role at bridge-building is at the heart of this platform / despite government's best efforts - there is still more that needs to be done to acknowledge the trauma that exists within the community / the city of Richmond should be



loaded up for their equity work - but that doesn't take away the sins and the harm / the reason you didn't hear a clear call to action is because we have not heard from the community yet - let's work together to define that clear call to action

Q: Robert - great presentation on experiential data & local knowledge / what are other ways that data gets populated? Does it go to social media? A: currently we are in phase 2.0 to populate the platform in a semi-private phase / in phase 3.0 we will allow people download from the App Store and post publically

Q: Dr. Connie - I appreciate your presentation with a strong theoretical base, when I came, I was skeptical at first with elements (e.g. emphasis on low-income housing which is not what I see as the solution) but with Streetwz - it gives me hope, when you take your voice from the streets to the larger scale, it often changes // have you considered how you are going to integrate this into the rest of the challenge? A: we are all collaborating

III. Streetwz Training

(data captures - good stuff / bad stuff / fix stuff; real-time responsive dots)
If you post at least 10, then you get a \$25 gift certificate

If you have already signed up, should receive an email invitation

If you have not (or would like to invite people), email : akom@streetwz.com, akta@streetwz.com

Q: Is there oversight? A: can flag reviews (thumbs up or thumbs down to weight in on posts) plus algorithms that they try

Hands-on Streetwz training

Thank you!

Meeting #3

CAB Meeting 3 - March 13th, 2018

Welcome and Introductions

- New people to CAB:
- Karina Rus, NE Richmond resident
 - Heidi Nutter, SFEP

Other CAB Attendees

- Robert Rogers
- Juliana Gonzalez
- Tania Pulido
- Princess Robinson
- Sheryl Stanley
- Sandra Hamlet
- Joan Bradford
- Regina Cuevas

Haley Noll—Mithun
Ethan—Streetsweze

Sea Level Rise (SLR) in North Richmond (NR) and Design Framing context: sea level rise and urban infrastructure

Key areas: Wastewater treatment
Historically flooded areas and path of Wildcat and San Pablo Creeks

Restoration Economy

- NR is the North Bay Area's resource for restoration
- NR is engine for driving change
- \$25 million annually to be spent on infrastructure investment

Q: How will these investments directly benefit North Richmond?

A: Still unknown, but potentially by solving work already being done here. This is the conversation we want to have about how we can benefit people here.

- Jobs and careers
- Healthier environment
- Attracting clean/green/tech businesses

Examples of planned infrastructure improvements:

- Gertrude Ave. pump replacement
- Wastewater facility renovation
- Electrical grid renovation
- Marsh restoration

Goal is to leverage these planned improvements to provide multiple benefits to the community

Big Ideas GATHER—LAND Strategies: land trust and more

FLOW—CREEK

How do we maintain a healthy creek for NR residents and the Bay

FILTER—TREES

15,000 trees would provide
Better air quality, better infiltration, thereby mitigating flooding risk

Could some of the open land in NR be used to plant trees?

Q: Will discussion include historical ecology? Is there a scientific basis or just a design exercise?

A: Potential laboratory for exploring adaptability of species, best fit given potential climate change scenario. Science-based design exercise—scientific knowledge informs the plans.

Q: How can we integrate our discussion with stakeholders from Flood Control and Wastewater, Sanitary District? Ideally we want to work together on these issues, best to be one voice with an integrated plan.

A: Need to be mindful of who's absent that needs to be a part of these conversations.

Process comment: Trying to stir up some discussion: role of Home Teams to be good listeners and thereby build on the ideas, incorporate perspectives, solutions from resident experts

Break-out Sessions

GATHER—LAND STRATEGIES

1: Community Land Trust/increased home ownership/Affordable Housing Models—Hedge against gentrification
Small lots, community-owned process
Design, different types/sizes

Q: Many renters currently, how will financing work for people who are currently renters?
A: Considering vacant lots now, not those with dwellings units on them now.

Another option: entity maintains housing, can buy into community. Price stabilization is goal upon sale of home. Trying to protect current residents from the risk of gentrification
Must think about how to address the risk of gentrification because any improvements in the community without a specific plan for this will result in gentrification and displacement.

Q: Connect on between housing and transportation—will help attract funding, but absent from current vision

Q: San Francisco—impossible to protect neighborhoods from rising prices—can it be done in NR? Model from CHDC: mean income based

Q: Historical housing was shorties, demolition had led to many vacant lots. Historically isolated from transportation corridors

2: Living shoreline/horizontal levee/decentralized wastewater treatment

3: Energy production: community renewable energy facilities district—another way to keep wealth in the community
Q: Regulations around wastewater discharge, currently not allowed to do decentralized discharge.
A: wastewater special district—open to looking into converting ww discharge to energy

FLOW/CREEK

- Wildcat Creek current projects
- Rhein Creek
- Trash assessments
- Urban Tilth gardens - 1st St. and at Verde Elementary
- Sedimentation basin

Ideas:

- Destinations
- Improve access Fred Jackson Way (FJW) trail—fenced to prevent dumping
- Flooded trail at Richmond Parkway
- Potential projects: Richmond Pkwy overpass with bike connectivity—but might get more bang for your buck to improve area under bridge where existing trail dead ends,
- Plan would be to widen creek to allow water level to come down
- Complete creek model - have more recreational spaces, homes fronting on the creek

Feedback:

- Need interpretive features to make trail more of a destination, accessible signage, help people understand the connection to the shoreline
- Create sense of place and identity, watershed type model
- More places for trash, restroom, building for meeting space, bookstore
- Picnic benches, spaces for family gatherings. Be intentional about what you're trying to create and the demographics of the population you're trying to attract, cultural competence. Consider age groups, ability to walk, need to supervise children.
- BATH-ROOMS!
- Additional survey data needed.

Would creeks be seen as a centerpiece of the community? Over time, something in center today could be on the edge.

Development opportunity along creek—historical walling off of creeks has created sense of creeks as places not to go. Explore development that is most closely tied to community interests. Be sure to take into account flooding risk with all of the proposed plans.

FILTER/TREES

Benefits: Tree canopy and stormwater infrastructure with overlapping benefits, water storage under trees, mitigate flooding, improve air quality. Reduce urban heat island effect.

Vacant lots: Opportunities primarily vacant lots. Lots of different street types in North Richmond, more or less parking, wider, narrower. Constraint to traditional tree planting along streets model, given need for ADA compliance. This is reason for driving change in vacant lots.

Future planting model: keep trees containerized, so they can be moved. Mobile planting idea.
Feedback: Oaks—once planted, can never be moved, so perhaps this would be a work around.
Could be a nursery model, eventually mature trees could be sold, be a money maker.
Water storage: if large enough, could be source of water for irrigation (truck could pump for use in other parts of area)

Maintenance and funding—needs to be considered

Trees as a buffer—could be very helpful in buffering emissions from Chevron, visual blight (smoke)
Q: Orchards and food production
Block ambassadors—foster stewardship, ownership of community assets, help with maintenance. Non-profits such as TWP could play a role with developing and maintenance.

Historical ecology and its role in informing planting—seed banks, remnant native grasslands. Trees historical were not part of the landscape.
Some outreach to native groups, but there is not as much local historical knowledge in this particular area.

Minimally, try to restore natural functions.
FJW—links to more industrialized area. Just north of industrial housing area, large trees providing a buffer. Urban Tilth's North Richmond Farm though not actually very far seems to be a lot farther to residents partially because of the lack of infrastructure along FJW. Currently there are plans to provide a complete street treatment along FJW. Should help shrink the distance.
Could county provide a buffer east of FJW south of industrial area? Currently undeveloped county owned parcels. Preserve a certain buffer along that corridor.
Complete street + stormwater perspective—would be helpful to have these perspectives cross-pollinating, produce better design.

Industrial zoning typically impervious—requiring a pervious buffer (trees, bioswale?) could be a good strategy.

General chemical—historical lots of emissions from toxins (General Chemical, Chevron); Approach industry to help pay for buffers to reduce the emissions—would serve their interest. May be a good way to test an idea of a local carbon market. Mitigate carbon emissions with trees/planting

Share-out session:

Takeaways—Round robin style

- Karina—community renewable energy—ties to creating stability, more resilient community
- Princess—Adopting a tree in lawn, ramp over Richmond Pkwy, cottage mode for housing
- Josh—Prototype model of decentralized wastewater system and a co-housing concept
- Tania—Discussing money for all of these ideas—Green Benefit District: idea to pay for it, potential funding from nearby businesses, and sustaining work over the long term

- Juliana—Opportunities with publicly-owned land, multiple uses, energy, housing, very exciting
- Regina—3 ideas: energy production/solar, creating housing options, doesn't want to be displaced, creek—works with kids at Verde, school should have more pride in appearance of creek, changing narrative around North Richmond
- Robert—Tree canopy as buffer of industrial uses, protect community from sight, noise, and air pollution and increase canopy within community. Also, thinking of smaller affordable lots in community with history of diy types of structures
- Heidi—Plant trees that are appropriate for landscape, safer more walkable streets, culturally appropriate signage, place making, housing ideas are exciting
- Sandra—Potentially create a local carbon market, store carbon in tree carbon

Amplification of ideas from Ethan:

Changing narrative of community, imagining best outcomes done best with community input, so how can we keep conversation going?

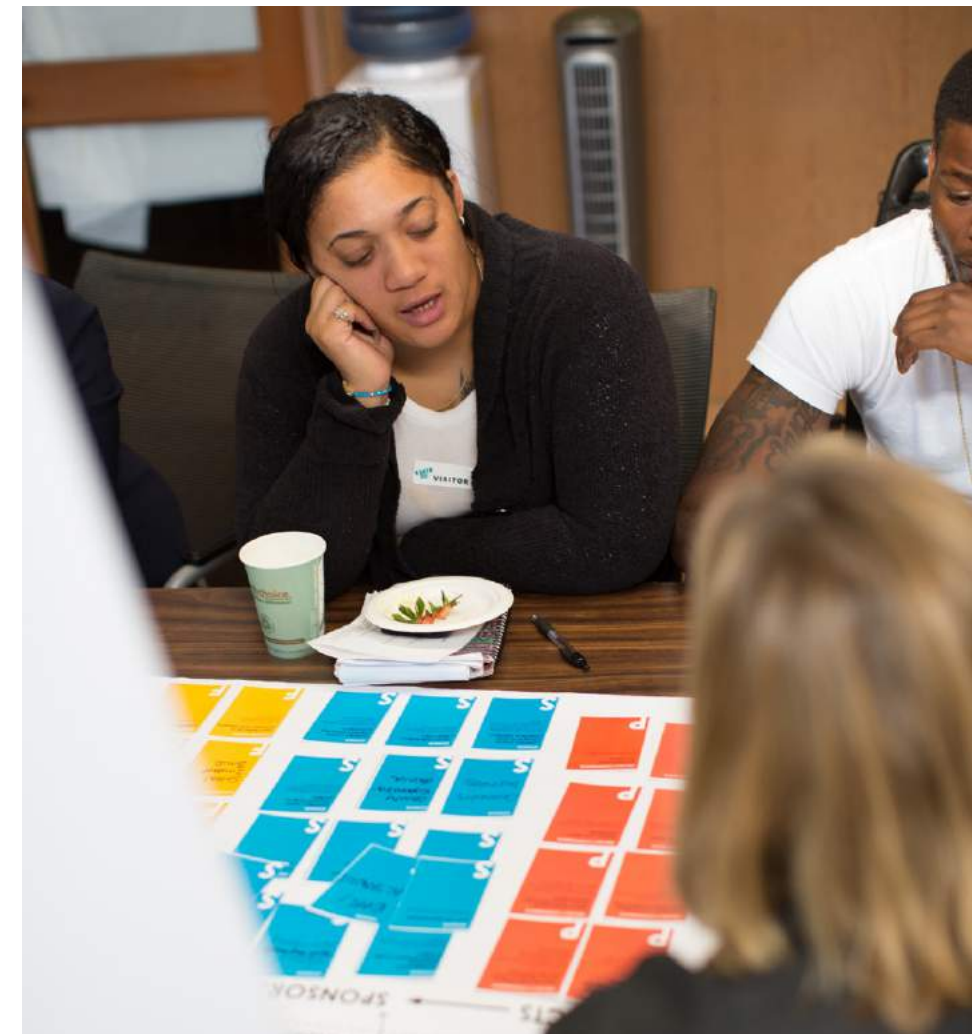
STREETWYZE session afterwards to help get more community input

Mithun seeking input for next meeting's agenda

RBD overall process is having an agenda sharing session end of March with the other 10 design teams

If interested in participating in agenda setting, contact Deb Guenther

Goal for next meeting—come up with specific project proposal and get feedback



Meeting #4

CAB Meeting 4 Notes
Thursday, April 19, 2018

Location: Multicultural Senior and Family Center, 515 Silver Ave Richmond CA
Attendees: CAB, Home Team, Bay Nature, Landscape Architecture Magazine

Outcomes:

- Shared understanding of where project development stands
- Discussion of projects and their refinement
- Discussion of vision - how that can be reflected in narrative and storyboard for video

I. Welcome (10 minutes)

- Welcome and thanks everyone for joining
- Introduce visitors
- Brief overview of the agenda
 - 5th meeting: May 22nd, Location TBA - after the public presentation of the development of the decks, but before we finalize our plans
 - 26 minutes at each table - figure out the cluster of projects that be long together - a fundable package with partners, sponsors, funders, projects - have blank cards as well for new ideas
 - Last 45 minutes - on the narrative of North Richmond
 - May 11th - will be submitting a draft to the CAB, and 90d Home Team will take into account CAB comments before submitting to Resilient by Design
 - Will be doing video after the meeting as well

II. Design and Project Development (60 minutes) - 3 groups of 20 minutes each

- Group A: RELATE - Wildcat Creek trail and shore line access
- Group B: FLTER - Healthy air and water quality, trees, horizontal levees
- Group C: THRIVE - Home ownership and wealth building with green benefits district

Share out as a group after rotations:

- Liked the intersectionality between resiliency, connectiveness, housing - all three work well together in a small area like North Richmond and all three ideas are important to think about
- Public access is a good - but safety is still an issue, haven't talked too much about the public safety aspects of these projects
- Ideas build on a lot that has already been done
- Some concerns with the horizontal levee - will continue to discuss with the technical experts
- Diverse funding sources in the deck of cards is interesting
- Most compelled to the bridge concept - many gap closure projects already going on in Richmond, so this would pair well and could be done
- Pleased at the renderings and the ability to visually respond
- Really curious about the housing options and the community ownership of housing and community design - could create a lot of local spaces
- Housing - the most interesting
- Safety for the bridge is a concern
- Like all the designs - can you do all three at the same time? Would probably depend on how they all evolved/funding
- Bridge idea - might be able to develop quickly
- Like the displays - good way to get feedback
- Want to integrate the three - bring all three together and connect them
- Housing - emphasis green benefit district - county has been exploring ways to give more funding to local residents
- Really likes all the ideas, have a lot of potential - particularly like the housing so people don't get displaced
- Language about "land trust", Spanish translation?
- Lots of trauma in the community and not a lot of resources
- Bridge - and connecting educational elements, a lot could be implemented in different ways to connect people to place
- Trees - could help solve many of the flooding issues
- Opportunity for North Richmond to be a jewel, and create a lot of pride in the community and could reduce crime in the community
- Pride and sense of place - great framework is there with the two creeks and the connection to the bay - having the means to fund programs through green benefit districts - create more connectivity
- As we are developing and opening the community up to people beyond North Richmond - coming through North Richmond on trail, beautifying quality of life year - but how will that fit in with the North Richmond community? How will it fit with non residents coming through participating in illegal activity?

Restoration economy? How does North Richmond want to participate?
Funding coming through Measure AA in the future

Does North Richmond want to position itself as a resource to the whole Bay Area?

What is the narrative that people would like this process to take forward? What's the big idea?

What form does this group take going forward?

III. Discussion of North Richmond's narrative and video storyboard (40 minutes)

- NR as a place people can live happily and safely
- Working as a team - the community and the government - all levels of the community
- To make friends through programs and community involvement - and get together with neighbors and community
- Reclaiming the collective commons - collective ownership of the space that has been ripped from a lot in the past - build a buffer around our community
- Working with government that works for us and with us
- How do people feel about R-Home catchphrases?
 - Probably not the most important thing to focus on



- Community involvement - pulling the community together - example, community wide Earth Day - events designed to unite community - community is already moving in the direction
- We have this great dynamic, strengthening within the community (planting trees and gardens, reconnecting with creek, bridges, strengthening the marshland) and opening up new lands (opening new property, welcoming new residents)
- Community-driven and at the community/neighborhood scale - creating the webbing of the community and increasing resident of capacity, decentralization - self-determination
- Changing minds, changing perspectives - from the outside often see just crime etc - but local residents would not describe it that way
- Impact of a negative outside perspective
- Think that the outside perspective is rapidly changing
- We don't just live here, we own it - taking ownership in the place to keep it going
- Think about honoring North Richmond's history
- Think about gathering spaces, parks, restaurants, concert venues
- Identity of North Richmond and Richmond - how do they relate?
 - NR has a different history, is a different place - is separate from Richmond
 - Take pride in NR - has been carrying their weight culturally, historically, producing leaders - to be defined as separate
 - Yet when thinking about disasters - think in regional terms, in watershed terms - if something happens to Wildcat Creek, an earthquake, sea level rise, climate change - but issues like housing might be local

IV. Housekeeping (5 minutes)

Reminder: May 22nd meeting
Resilient by Design will have a booth at Earth Day
May 18th - everyone is invited to the large Resilient by Design meeting
Video - Will be filming a few people tonight and then can also stop by at Earth Day on April 21st

EcoDistricts in town and will be having a reception in downtown SF soon

Visualizing Sea Level Rise at Earth Day

- A slow process, so creating ways to communicate and engage people in sea level rise
- Earth Day - people will be making measuring sticks that they can take home - plus will be going down the marsh - will be filming a time-lapse of the tide going up and down

V. Next meeting: Tuesday, May 22 4pm-6pm (location TBA)

Meeting #5

CAB Meeting 5 Notes -- Tuesday, May 22, 2018

Location: Multicultural Senior and Family Center, 515 Silver Ave Richmond CA
Attendees: CAB, Home Team, and special guests

Brief recap of final events & projects status at the last meeting:

- Thank you! This is technically our last meeting with the Resilient by Design process, and we feel very fortunate to be able to learn and work with you all
- Origins of the sea level rise preparation - in places like NR and other communities around the bay that have been disinvested, this is a social justice tool
- Sea level rise adaptation for housing
- Will be spending the time speaking as a group: 1) breaking down the projects and the ways different community organizations can be involved; 2) if this CAB group would like to continue meeting and in what form

Discussion of current status of projects:

- Thrive, specific plan, small lot splits, land trusts (housing)
 - small lot splits & land trusts; sounds like already interest by the City of Richmond and County on government owned lots
 - Land trusts - Question, how does exactly work? A non-profit enterprise or part of the City/County?
 - 275 community land trusts around the country - the vast majority non-governmental, but the vast majority have had some seed money/some partnership especially at the beginning with government/ include government structure
 - Question: incentive for property owner to join a land trust? Could have both incentives and disincentives depending on financial situation of land owner
 - Question, could this be a possible re-development possibility for Las Delitas? Tania will create a report for CDHC on the RbD process and ideas, community visioning boards etc to bring more community input into the redevelopment of Las Delitas
 - Question: Would you need support to be an expert on land trusts? Richmond Community Development Enterprise - brand new, an outgrowth of when they tried to create the Berkeley Global Campus, some expertise on land trusts on the board
 - Perhaps doing something as a land trust could make the development more appealing to developers
 - Balance of rental and home ownership
 - First Mile - Last Mile transportation connection - more energy around this idea, and North Richmond has this challenge connecting to Bart (poor bike, walk paths, limited bus)
 - county just came out with an interactive bike/pedestrian pathway vision plan - County needs the input by May 25th - Richmond big focus, NR not as big of focus, still needs a stranger equity framework
 - The county will be repaving Parr - will include some bike access, but needs public comment to push this forward - could create the best connection to the Bay trail
 - Question: thinking about transportation, has anyone talked to the people re-developing the Hilltop area? They are planning on bus bridges to bart
 - possibility of a creation of a sub-task force to tackle Ding Land Trust champions to collaborate with for future (City, County - both interested but moving slowly and have not scratched the surface much, Richmond Cooperative - looking at small cooperative businesses in Richmond)
 - Filter: air quality tree parks, greenbelts, nodes and heritage walk
 - School district and county health department on the heat island effect and has identified school as heat island - interest in planting trees at Verde and other schools with heat island challenges; funding sources? Michael Kent - looking into funding sources - think it is cap/trade funding
 - County will really have to rely on nonprofits to plant/maintain trees
 - Urban Greening Master Plan for the area including the school districts - bring together climate action plan of the county to harness all the interests and energy
 - Why would the schools not want the trees? Liability, newly installed blackout, maintenance
 - Master Plan could put some pressure on businesses/developers to think a little differently - makes a stronger sell
 - Question: who in the county would be the best to speak to? Michael Kent, Jody London - no one department will want to carry it alone, additional funding will also be necessary to move things forward
 - Street reorganization - key streets that are wider than they need to be? To put in bioswales/trees/bike paths
 - Green Benefit District to respond to the maintenance challenges
 - Stormwater planning that is already in the works - tying in as well into public health
 - Health Campaign in Denver, Co: Denver housing authority redeveloping a public housing development and Mithun coming in to design a healthy design guidance into the development plan - the way it is being structured

- is into "campaigns" - Save/Inclusive, Opportunity for All - campaigns that are cross cutting
 - all designed with the community
 - Relate, overpass, creek picnic area and floating trail
 - Thinking of creating a bridge/overpass, a floating trail - going over from marsh to Point Melate
 - Sandra (EBRPD) - re-ignited interest in overpass idea connecting wildcat creek to staging area, including positive feedback from TRAC, the refreshed design has created more momentum and a definite positive outcome, challenge is building more support etc
 - How can Mithun best help you move this forward? The imagery has already been incredibly powerful in renewing interest especially with the new Dotson Family Marsh project, logical next step is connecting to the community
 - Is Mr. Dotson still on the board of EBRPD? Yes
 - How do projects move forward with the EBRPD? In a variety of ways, but communicating to Mr. Dotson/members of the board the value of the project would help
 - The Watershed Program in Urban Tilt - new grant funding to do outreach around beautification of Wildcat Creek from Verde to the Parkway
 - Overpass - would be beyond the current easement of either flood control or EBRPD, that extra right of way is private/slotted for development) land, and still unsure of the timing of the entitlement from a 45 foot dedication
 - Flea Market is close to the path/overpass area - could we create a walking connection
 - Could also be close to where a future horizontal levee might be - would be around the same elevation. Parkway is a pretty good line in the sand, but it will wrap in at Wildcat
 - Grow: extended levee, muted marsh integration with industrial
 - Levee and marsh conversation - models to protect the current wastewater facility and thereby protecting Parkway and neighborhood
 - Most critical area might be near the creeks, it could be intriguing to continue it to the south, but not totally convinced that it would be worth the cost/benefit
 - The Parkway is not designed to be a levee - how we could continue to use the parkway during sea level rise
 - Further to the south is so industrial and would require such remediation that it may not be worth it as oppose to further north with the current and historical pressure
 - Question, we know that the efficiency of the pump will be decreasing, what about upstream infrastructure? Encouraging upstream development, but also planning for event that all upstream GI get inundated, but pump is still needed in our projection pump near the end of its design life and in next 5-10 years can we redesign the pump possibly with more features
 - Question, marshes - protection for sea level rise - will it be protecting the houses/neighborhood? That is what needs to be studied more, especially with groundwater infiltration and flooding from upstream - raise a good point to focus the study on the neighborhood
 - Connection with each other:
 - Questions that you are asking right now really show why all the groups need to continue to talk and bring all the stakeholders to the table while we make these designs/decisions - we are all interconnected, each group can no longer be completely specialized and operating in silos
 - Wildcat San Pablo Watershed Council - serves as a great collaboration group, and everyone here is welcome to join
 - Expanding the idea of when/how/who connects - maybe an outcome that we can plan into the future so we can all move forward collaboratively and collectively
 - Prototypes: pier, platform, floating bio-islands
 - Integration with equity framework, health and stormwater plans and North Richmond Shoreline Vision Plan
- Discuss ways group could be organized going forward**
- 1.5 years ago we met to flesh out urban greening and resiliency plan for north Richmond - it would behoove the County to take leadership in this arena and it fulfill our plans in partnership with nonprofit groups, however, the leadership cannot come from the County but will need to come from the people and community who continue to push the County in a positive direction and work with them, like the idea of a Green Benefit District in North Richmond
 - Question, worried that we might lose the housing and transportation in this process - we might end up moving too far into urban greening and losing the more holistic idea of resilience, maybe a new working group within the MAC, this CAB group could be a technical advisory to the working group.
 - MAC - would be the best place to continue this group - is a primary leadership within the community, many of the other MAC members would valuable members of this discussion but were unable to attend these meetings, the ideal way to keep the community and elected officials involved
 - Link in the Shields-Reids Neighborhood Council
 - Framing as a Resiliency Master Plan?
 - How much of a challenge would it be to plug in North Richmond into the Richmond Master Plan? The challenge would be governance, but should always be in collaboration

- this could be an opportunity for a pilot for Contra Costa County - that could be taken to other unincorporated communities
- Question: could the MAC apply for funding? We need to think about who would be the primary for the grant application process - SFEP can be an umbrella organization
- Richmond - has an government that defines the priorities, then the nonprofit and departments can apply for funding to make those plans a reality; Sustainability Commission could be a place to think about — we need to create a roadmap to follow for the funding
- July Application - could we apply?
- Right now, there is no seed money to keep this money going
- Dr. Clark has connections with both the County and the MAC - could you help provide a meeting place and facilitate? Separate from the MAC meeting or together? Would probably want to meet separately from the MAC and report to the MAC. Not certain about that idea, would have to check in about that, challenge of having staff outside of MAC meetings. Meetings at CHDC conference centers - Tania can speak to the CHDC about using the space.
- Tania - managing North Richmond Green Campaign - how could we incorporate this into that plan?
- What about the Watershed Council? It meets in two days - they would be interested in learning more and possibly join
- Think about the time/space that would be needed to get it done - might need a staff/go over the time that any one group is able to commit - think about if there is a cost
- Can we apply through Resilient by Design group for a few hours
- Creating a proposal/master plan - while also thinking about what our existing line items/projects are to possibly review funding opportunities
- Greatest opportunity - to meet other leaders in the community and share what everyone is working on

Resilient by Design opportunities & summary of activities coming up

- We are thinking of creating a longer version of our video to share with the group
- Share out at the Resilient by Design event
 - sometimes the graphics don't have much substance behind it, both other teams brought so much depth into their projects far beyond the project boards
 - thought the jurors has very obtuse questions, maybe could have had questions from the audience
 - encouraged and inspired by the projects
 - let's just play, think about that role Mithun and other outside groups have within the community, about to bring North Richmond onto a really large stage

- some of the biggest feedback - how is it that we are taking about resilience and yet communities are not driving the process, not choosing the projects themselves, more people are coming to the realization that these projects need to reflect the needs of the community - our projects seem more grounded in the community
- Resilient by Design; needs to have a summit/reflection on what went well and what needs to change
- Funding for RbD closes on May 31st - ideally we are looking for funding for the future that would go directly to the participating organizations - it was intended to be a jump start
- you can contact us/Mithun at any time

Thank you!



Appendix E: Equity Framework Criteria Draft

DRAFT RACIAL EQUITY FRAMEWORK NORTH RICHMOND PRIORITY RESILIENCE AREA



- OBJECTIVE 1:** Enhance quality of life for North Richmond area residents
- OBJECTIVE 2:** Create job and ownership opportunities for existing and new residents
- OBJECTIVE 3:** Incorporate community voice in planning, implementation and evaluation. Articulate how community voice has influenced decision making
- OBJECTIVE 4:** Intentionally plan for knowledge exchange to grow community capacity and include community expertise
- OBJECTIVE 5:** Actively promote housing affordability and protect residents from displacement
- OBJECTIVE 6:** Link infrastructure investments to multiple benefits, such as sea level rise protections, flood reductions, air quality improvements, highlighting cultural and historic character of area
- OBJECTIVE 7:** Expand partnerships

BORRADOR DE PLAN MARCO DE EQUIDAD RACIAL ZONA de RESILIENCIA PRIORITARIA de NORTH RICHMOND

- OBJETIVO 1:** Mejorar la calidad de vida de los residentes del área de North Richmond
- OBJETIVO 2:** Crear oportunidades de empleo y propiedad para residentes nuevos y existentes
- OBJETIVO 3:** Incorporar voz comunitaria en la planificación, implementación y evaluación. Articular cómo la voz de la comunidad ha influido en la toma de decisiones
- OBJETIVO 4:** Planificar intencionalmente el intercambio de conocimientos para aumentar la capacidad de la comunidad e incluir la experiencia de la comunidad
- OBJETIVO 5:** Promoveer activamente la vivienda asequible y proteger a los residentes del desplazamiento
- OBJETIVO 6:** Vincular las inversiones en infraestructura a múltiples beneficios, como la protección del aumento del nivel del mar, las reducciones de las inundaciones, las mejoras de la calidad del aire, destacando el carácter cultural e histórico del área
- OBJETIVO 7:** Ampliar las alianzas

Appendix F: Prototype Research

Research Investigations: Digital/Analog Production of Resilient by Design Prototypes in Collaboration with Laney College Students

Project Goals

Develop habitat for **humans** (opportunities to engage with the bay for local communities), **plants** (native Bay Area marshland species) and **animals** (the endangered CA Clapper Rail, oysters and others) in anticipation of rising sea levels.

Key Project Infrastructure

- Floating walkways
- Observation platforms
- Bike path links
- Floating wetlands
 - Native plant species habitat
 - Bird nesting islands
- Migratory wetland home



Bay Illustration from www.sumacm.com

Ridgeway Rail / California Clapper Rail

The birds take refuge at higher elevations during high-tides and storm tides where they are more vulnerable to predators. Urban development impedes on wetland vegetation, decreasing cover.

Endangered species: Their population has been reduced to a few thousand; indicative of the health of Bay wetlands as the rail lives nowhere else. There were **193,800 acres** of tidal marsh in San Francisco, San Pablo and Suisun Bay existing in the 1850s, only about **30,100** remain.



Floating Islands can serve as highground for the birds: Floating Islands were included in the CA Coastal Conservancy Clapper Rail Habitat Enhancement Plan: "Initial use of the islands by roosting clapper rail was very high, with documented presence of clapper rail within three days of deployment."



Pacific Cordgrass: Largely outcompeted by a non-native/invasive species of cordgrass (*Spartina*). Rail populations do better with invasive species because it provides more cover from predators.

Grindelia Stricta: Rail's high-tide refuge; also known to nest here

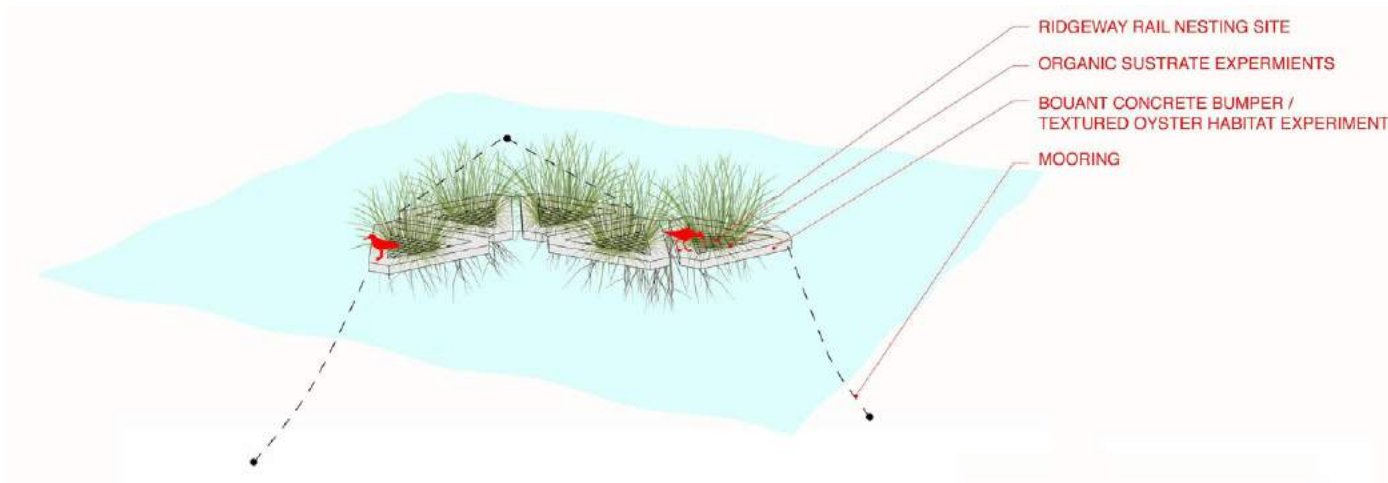
Pickleweed: Key coastal wetland species; Rails will nest in dense stands. Also home to the endangered Salt Marsh Harvest Mouse

Floating Wetland Calculations

Materials	Volume (cubic inches)	Volume (cubic feet)	Weight (lbs)	Density (lbs/cubic foot)	Cost/lb	Percent
<i>Concrete Mix Materials</i>						
Cement	10.00	0.01	0.55	95.00	0.12	0.20
Glass	0.00	0.00	0.00	62.00	0.00	0.00
Styrofoam	20.00	0.01	0.04	3.12	0.00	0.40
Sand	20.00	0.01	1.16	100.00	0.00	0.40
Totals Our "Lightweight Concrete"		0.03		60.25	0.12	
<i>Bouyant Fillers</i>						
Aluminum Can	439.68	0.25	0.56	2.20		0.38
Styrofoam	0.00	0.00	0.00	3.12		0.00
<i>Concrete types: needed volume of concrete calculated using fusion model</i>						
Poravor Concrete	670.38	0.39	24.05	62.00	0.52	0.58
Regular Weight Concrete		0.00	0.00	145.00		0.00
Our "Lightweight Concrete" (use totals from above)		0.00		60.25	0.12	0.00
Frame Totals	1,160.06	0.70	26.36	36.66	12.51	
<i>Loads</i>						
Description	Area (sqft)	Weight (lbs)	Load (lbs/sqft)	Cost/sqft		
Wetland Plants	Pickleweed	3.94	8.23	2.09		
Coir		0.33	3.75	11.42		
Plastic netting		3.94	0.00			
Load Totals			11.97			
Floating Wetland Totals			38.33			
Sea Water		0.70	44.75	63.90		

Floating Island

Floating, modular concrete forms that house native plant species (pickleweed and pacific cordgrass) and bird platforms



Floating Concrete Design

- Durable and ecological (will not degrade/leach toxins into the Bay over time)
- Provides a good surface for oyster habitat
- Facilitates the use of recycled materials (embedded in the concrete)
- Diverse forms and shapes
- Lightweight aggregate, concrete density of 62 pcf < water
- Simple fabrication could facilitate community participation



Floating Island Prototypes

Why Floating Wetlands?



Provide refuge to Ridgeway Rails during high tides.

A unique design feature that captures human imagination: *How might we take an active role in environmental stewardship?*



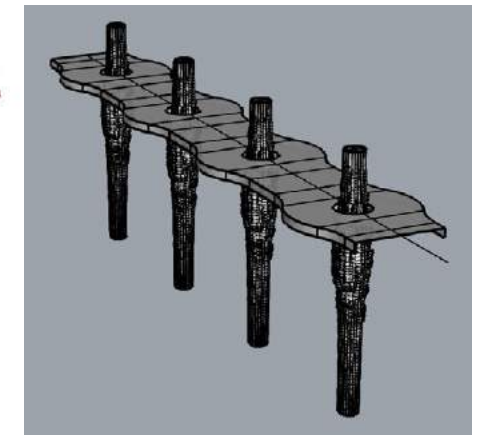
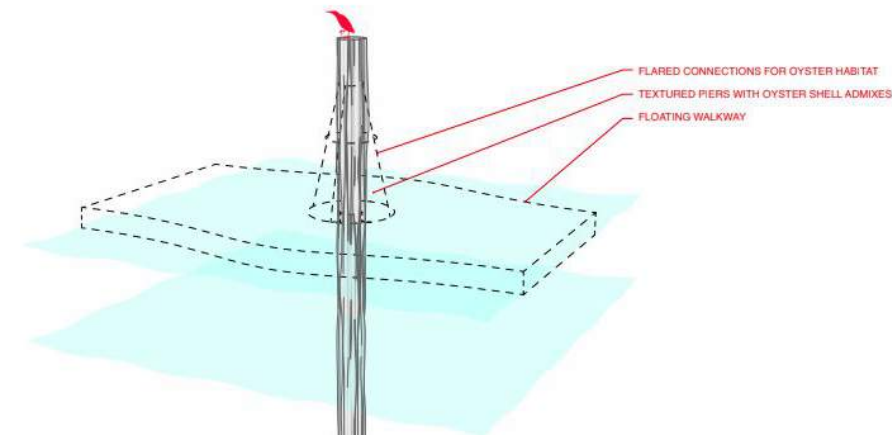


Pylon Walkway Design

Connects the bay trail and allows walkers and bikers to interact with habitats

Creates oyster habitat

Makes use of similar floating concrete design from floating islands



Detail of Triangular Floating Islands

Circular Cross-Section Maximizes:
-Volume to Surface Area Ratio
-Water Displacement

Lightweight Concrete
Plastic Mesh Concrete
Reinforcement

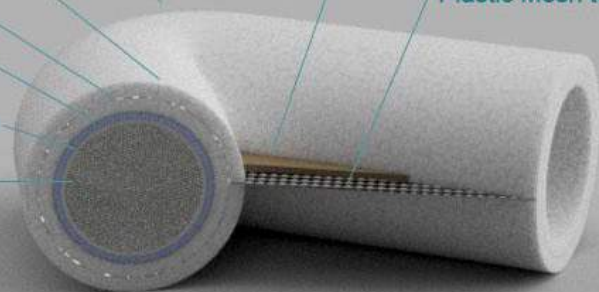
3D Printed Corner Joints

Recycled Aluminum Cans

Air Cavity

Coir Substrate for Planting

Plastic Mesh to Support Planting



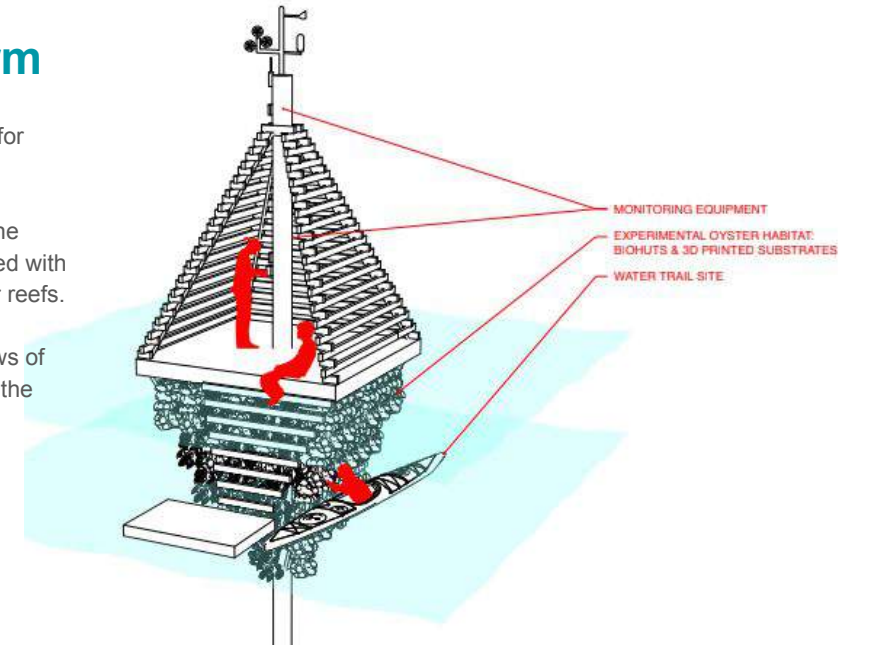
Observation Platform

Platform accessible by kayak; a rest stop for voyagers on coastal kayak trail.

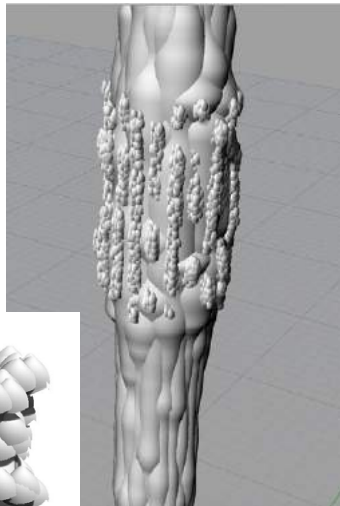
Oyster and shellfish habitat in the tidal zone created by unique concrete form embedded with oyster shell to encourage growth of oyster reefs.

Approach from bay-level will provides views of sea-life living on structure exposed below the high-tide mark.

Platform mounted on a pylon.



Pylon Design



Textured Pylon



Oyster Blob

Covered in concrete texture with oyster shells to promote the development of oyster reefs; oysters prefer vertical surfaces for growth.

Oyster reefs play critical roles in water filtration, feeding on algae and removing excess nutrient load. Additionally, they protect wetlands from surging tides and storms.



Olympia Oysters/Ostrea Lurida

Endangered species: Once thriving, native oysters have been endangered by pollution, overharvesting, reduction in surface substrates, silt sediments, and predation by invasive species like the whelk snail, Atlantic Oyster Drill and Japanese Oyster Drill.



The oyster beds, or reefs, they create provide habitat for myriad fish, crabs and other creatures. Oysters filter water and help remove nitrogen pollution while increasing the growth and survival of other fish.

Eelgrass presence increased the occurrence of certain fish species among oyster reef structures (bay pipefish, shiner surfperch, and saddleback gunnel), suggesting that restoring the two habitats in proximity to each other can increase the richness of species present.



Higher tidal elevations and with more exposure may provide oysters with some measure of protection from marine predators and non-native fouling species.

Baycrete structure study showed that more oysters were present at lower and mid-level elevations than at the high elevation, on the north side than the south side, and on vertical than horizontal faces.

Oyster Spat grow on old shells. Incorporating shells into concrete promotes oyster attachment and creates complex surface areas oysters like.

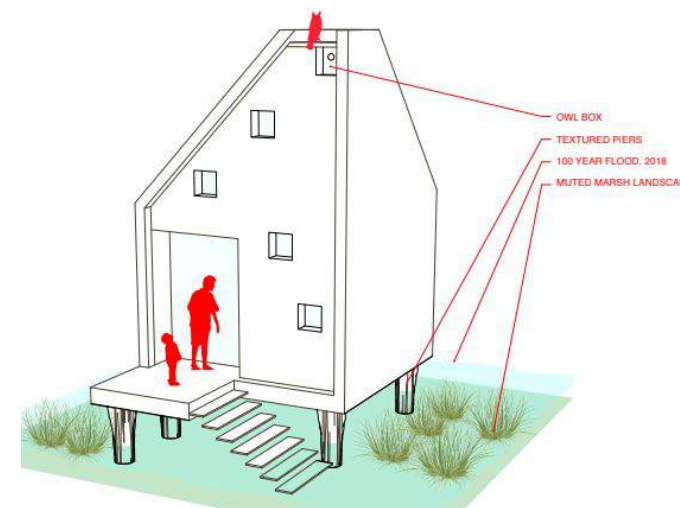


Pylon Wrapping Prototypes



Pylon Platform

- Prevent creosote from leaching into environment
- Reinforce old pylons
- Create platform for human activity
- Increase surfaces for oyster habitat



Migratory Wetland Home

Living Shoreline Prototypes R + D (Biohabitats)

Shoreline Green Infrastructure— The Next Generation of Resilient Techniques

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PAST APPROACH & PRACTICES

Bank Stabilization: Bulkheads, Seawalls, Spoil Banks, & Other Revetments



Hardened shorelines interrupting natural processes



Vertical structures with little habitat value



Changes in ecosystem services of entire shorelines



Infrastructure that ultimately fails and is not resilient to change

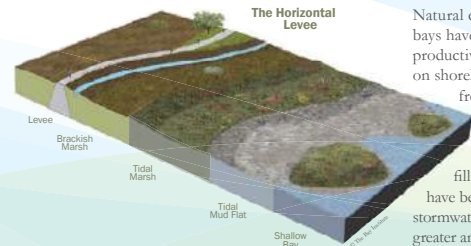
CHANGING CONDITIONS & NEEDS

Coastal Impacts: Climate Change, Sea Level Rise, Increased Erosion, Land Loss, & Flooding



CHALLENGES

- What are the altered conditions causing habitat loss?
- What ecological processes and functions are comprised?
- How can green/living infrastructure replace traditional gray infrastructure?
- Can we modify these systems to provide better services and resiliency?



Natural coastal shorelines of creeks, bayous, canals, rivers, lakes and bays have important roles in providing habitat for fish and wildlife, productive native communities and protection from erosion. We also rely on shorelines and adjacent aquatic resources for natural hazard protection from coastal storms and flooding, and also for commercial and recreational uses and productivity.

Where shorelines have been altered by natural condition destruction, fill placement and hardening by structural protection, valuable functions have been lost including accreting of marsh sediments, capture of land-based stormwater run-off, water quality filtering functions and habitat provision. As greater amounts of shoreline are altered, the ability of the system to function and provide ecosystem services are further compromised. Modifying and advancing the way we treat shorelines has ecological and societal benefits that can be less expensive than structural measures and more resilient.

LOOKING FOR FUTURE ALTERNATIVES

Living Shorelines/Levees, Green Bulkheads/Living Seawalls, & Remediated Canal Banks

The changes we are facing in light of sea level rise, subsidence and land loss require forward thinking to provide shoreline conditions that are more resilient to not only currently observed impacts, but anticipated acceleration of the rate and magnitude of changes that are predicted. Because we rely on our shorelines zones for providing productive ecosystems, our livelihood and habitation new ways of addressing their resilient are needed in the near future to reduce impacts and conserve natural and economic capital. Advancing techniques that work with natural processes, provide natural functions, and are adaptable to further changes and variability is needed.



RESILIENT FUNCTIONAL SHORELINES Regenerative Green Infrastructure



Leonardtown Wharf, St. Mary's County, MD
Commissioners of Leonardtown

Goal: establish an environmentally friendly park responsive to sensitive resources of Breton Bay and mitigate impacts of construction

Approach: expand existing tidal wetlands with a living shoreline fringe marsh, and a high marsh green bulkhead landing

- Benefits:
- Stable marsh shoreline, and polishing of up-gradient stormwater run-off flow
 - Provide additional habitat and mitigate for site remediation and bulkhead impacts
 - Establish and aesthetic and functional amenity for the community, resistant to coastal flooding



Jean Lafitte National Historic Park & Preserve, LA
National Park Service

Goal: address oil and gas canal spoil bank impacts including altered wetland hydrology and invasive species

Approach: Remove invasive tree cover and excavate spoil banks to backfill canals to establish hydrology/water levels for native emergent marsh re-colonization

- Benefits:
- Reduce extent of invasive trees such as Chinese tallow and preserving native specimen trees
 - Alter the marsh hydrology to emulate the more natural water regime and enhance habitat
 - Contribute to visitor experience and access to a historically important National Park site



Galveston Island State Park, TX
Texas Parks and Wildlife

Goal: provide adaptive restoration strategies post-Hurricane Ike for Gulf side dune and swale system, and Bay side tidal shorelines, oyster reefs and sea grass beds

Approach: develop ecologically regenerative and functional strategies for Gulf side dune and swale system, and Bay side tidal shorelines, oyster reefs and sea grass beds

- Benefits:
- Provide a buffer to future park redevelopment to allow for natural dune filed dynamics
 - Enhance beach and dune habitat for wildlife, including the potential use by rare species (such as Kemp's Ridley sea turtle)
 - Accommodate for the power and impacts of hurricane/tropical storms and predicted sea level rise



Living Seawall—Biohut Technologies,
Various Ports and Harbors, French Riviera, France
by ECOCEAN, a French marine innovation company

Goal: to enhance refuge habitat availability and increase survivability of post-larval juvenile fish including estuarine and marine species that have been depleted

Approach: Deploying Biohut cage habitat structures along piers and seawalls to provide food and shelter, and refuge from predation often in concert with post-larvae capture and wet lab sustainable rearing

- Benefits:
- Support sustainable solutions to restore marine ecosystems boosting biodiversity and resilience
 - Provide new opportunities for scientific research on population dynamics, biodiversity and coastal marine ecosystems
 - Provide educational values for interpretive signs and learning, and educating about fish vulnerability



A New Way to Save Young Fish in Baltimore Harbor

TECHNIQUE USED IN THE MEDITERRANEAN NOW BEING TESTED IN THE U.S.

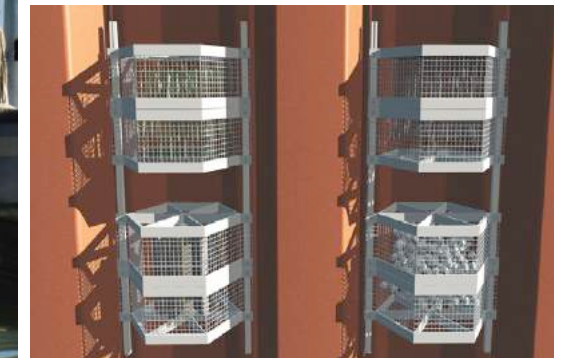
In conjunction with the National Aquarium, the Oyster Recovery Partnership, ECOCEAN, and Biohabitats—

Artificial nursery habitats are installed along the docks to preserve and improve biodiversity.

The Biohut® provides shoreline habitat for young fish in places where it has been damaged by human activities and infrastructure like bulkheads and piers. It protects post larvae and young of the year fish from predation and provides them with food so they can grow.

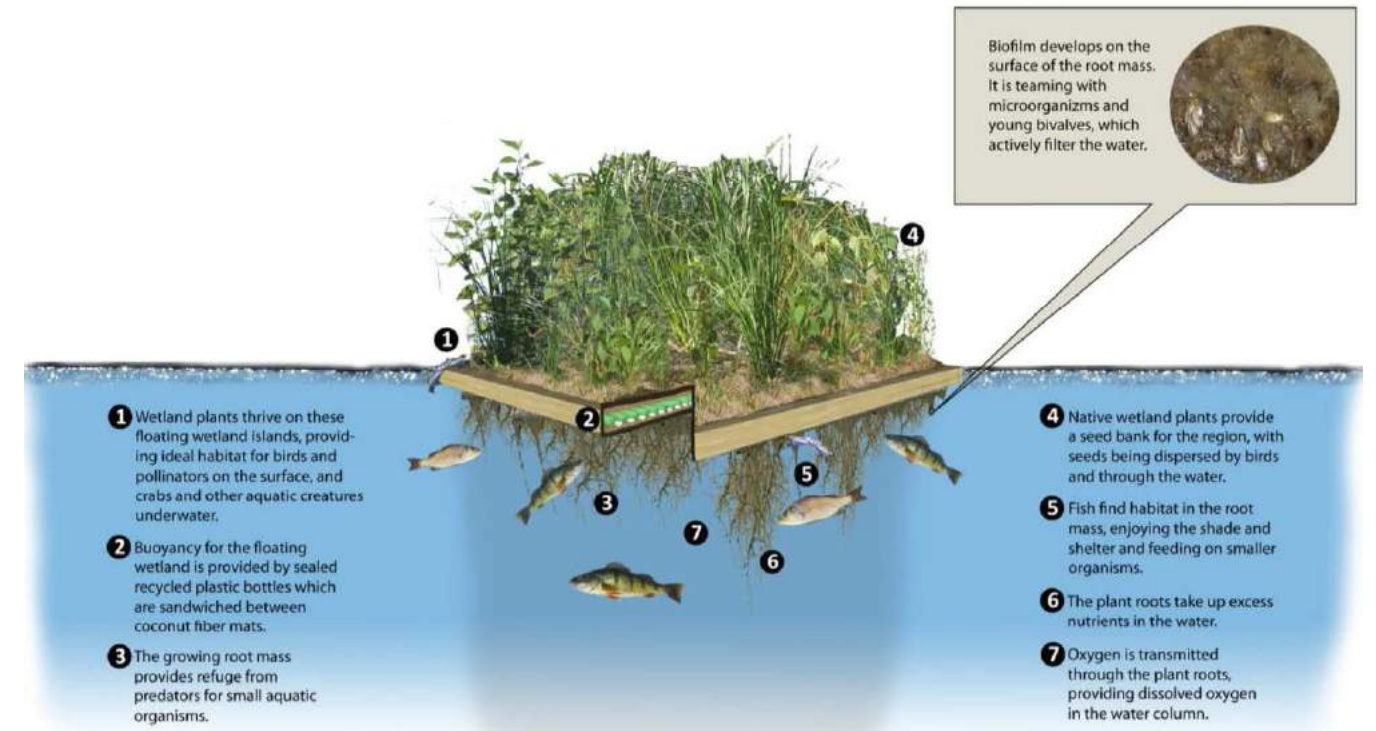
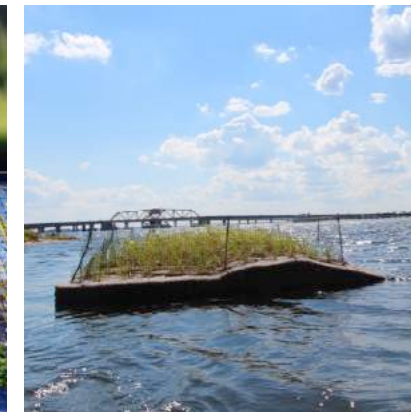
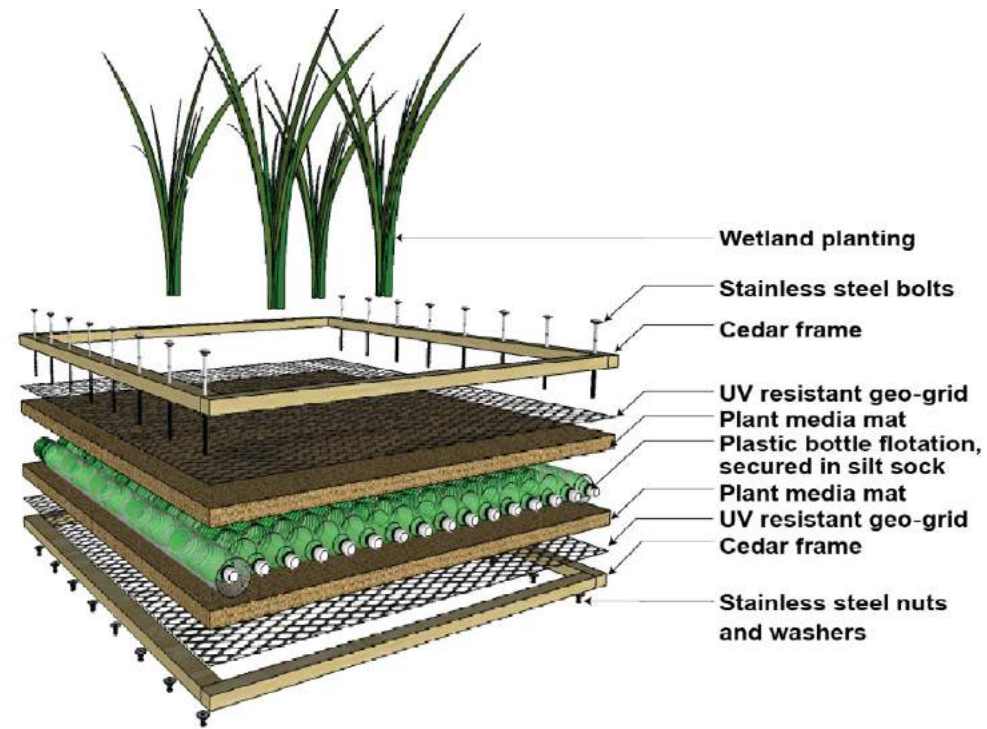


creating – Green Bulkhead Inserts



Living Shoreline Prototypes R + D (Biohabitats), contd.

Floating Wave Attenuators



Floating Wave Attenuators



Floating / Aqueous Housing Systems Analysis (Moffat Nichol)



Granville Island



Fisherman's Wharf Victoria



Illustration – Similar Home Size and Density

Float Home Study - Sirocco Project Comparables

At the request of the District of Squamish (DOS), Squamish Blue Pacific Developments (SBPD) have analyzed a number of existing float home developments in the Pacific Northwest in order to compare these existing developments to the proposed Sirocco Float Home project. The locations included in the study are illustrated in Figure 1 below.

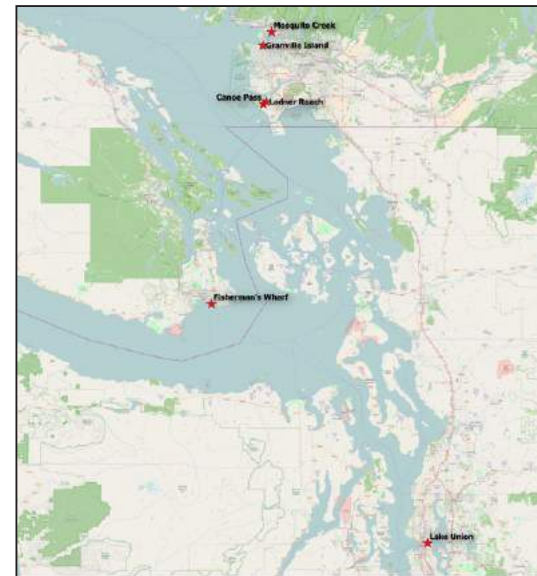


Figure 1: Existing Float Home Developments

1

Location	Canoe Pass	Mosquito Creek	Ladner Reach	Sirocco	Fisher-man's Wharf	Granville Island	Lake Union
Size of Lot (Sq.ft.)	149,435	65,950	95,820	57,403	71,763	31,430	176,065
Float Home Coverage (Sq.ft.)	64,304	30,623	45,693	28,352	45,617	21,960	130,523
Percent Coverage	43%	46%	48%	50%	64%	70%	74%
Number of Units	42	17	27	31	39	15	82
Range in Building Footprint (Sq.ft.)	800 to 1,350	800 to 1,200	700 to 1,300	700	350 to 1,000	585 to 940	650 to 2,000
Number of Storeys	2.5	2	2.5	2	2	2.5	2.5
Estimated Floor Area Ratio	1.1	0.9	1.2	1.0	1.3	1.75	1.85

Table 1: The above assessment was conducted using aerial photos and GIS software. Red indicates the measure is Higher than Sirocco, Green that the measure is lower than Sirocco, White indicates the measure is the same.

The Sirocco development includes 31 float homes (27 residential homes and 4 commercial units) and a floating accessory building. The float homes will have a footprint of 700 sq.ft. and be limited to two storeys. The float homes and dock will be constructed in a 1.74ha private water lot (Figure 2) held by SBPD. The proposed site coverage for the float homes, accessory building and the docks is 14% over the entire private water lot and 50% within the application area. The following analysis (Table 1) demonstrates that the Sirocco float home proposal is in the 'middle of the road' when compared with other float home developments measured by percent coverage, number of units and floor area ratio. The size of the individual float homes proposed for the Sirocco development are smaller and more compact when compared to the majority of developments included in this study.

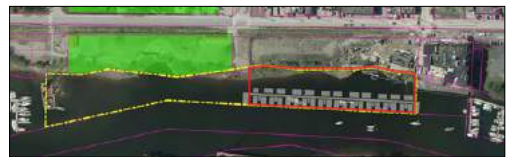


Figure 2: Sirocco Float Home Proposal (grey), Private Water Lot (yellow) and Application Area (red)



Figure 3: The water lot coverage is calculated based on the above proposed dock alignment along the Manquam Blind Channel

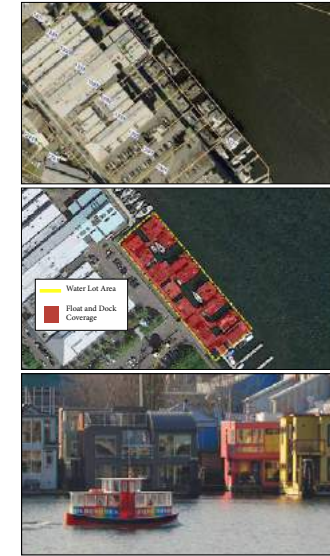
Lake Union - Seattle



Lot Coverage - 74% Building Footprint 650-2,000 sq.ft. Number of Storeys - 2.5 Number of Units - 82

6

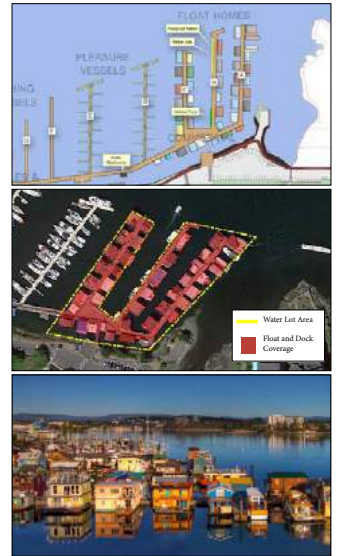
Granville Island - Vancouver



Lot Coverage - 70% Building Footprint 585-940 sq.ft. Number of Storeys - 2.5 Number of Units - 15

5

Fisherman's Wharf - Victoria



Lot Coverage - 64% Building Footprint 350-1,000 sq.ft. Number of Storeys - 2 Number of Units - 39

4

Canoe Pass Village - Delta



Lot Coverage - 43% Building Footprint 800-1,350 sq.ft. Number of Storeys - 2.5 Number of Units - 42

Mosquito Creek - Squamish Nation - North Vancouver



Lot Coverage - 46% Building Footprint 800-1,200 sq.ft. Number of Storeys - 2 Number of Units - 17

1

2

Ladner Reach - Delta



Lot Coverage - 48% Building Footprint 700-1,300 sq.ft. Number of Storeys - 2.5 Number of Units - 27

MITHUN.

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San Francisco

Mithun/Solomon
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